

MH Drawing Review General Notes:

1. Our review is limited to the performance of the building envelope for water penetration control, air leakage control, water vapor diffusion control, and heat transfer (thermal bridging issues).
2. The comments in blue with yellow background are new comments.
3. "Typ." means the comment or recommendation is typical and applies to all similar conditions.
4. A check mark means detail or sheet reviewed. An "X" means detail not reviewed because it's not within our scope (e.g. an interior-to-interior condition or exterior-to-exterior condition). Generally, MH did not verify all references or call-outs in this review.
5. We recommend showing the location of the air barrier on the building plans and sections and calling out air barrier components in the details per WA State Energy Code Section C103.2 Information on Construction Documents: "Details shall include... Air barrier details including all air barrier boundaries... on all six sides of the air barrier as applicable."
6. See drawings below for detailed information on our recommendations.

| MARK UP LEGEND |                                  |
|----------------|----------------------------------|
| ✓              | DETAIL REVIEWED                  |
| ✗REF           | REFERENCED DETAIL DOES NOT EXIST |
| ✓M             | SHEET REVIEWED                   |
| ✗M             | SHEET NOT REVIEWED               |

MH Review  
2020-10-24 DRAFT  
by: SM/DAR/YKC  
MH Proj. No. 1903577

# TERRY APARTMENTS EXTERIOR RECLAD

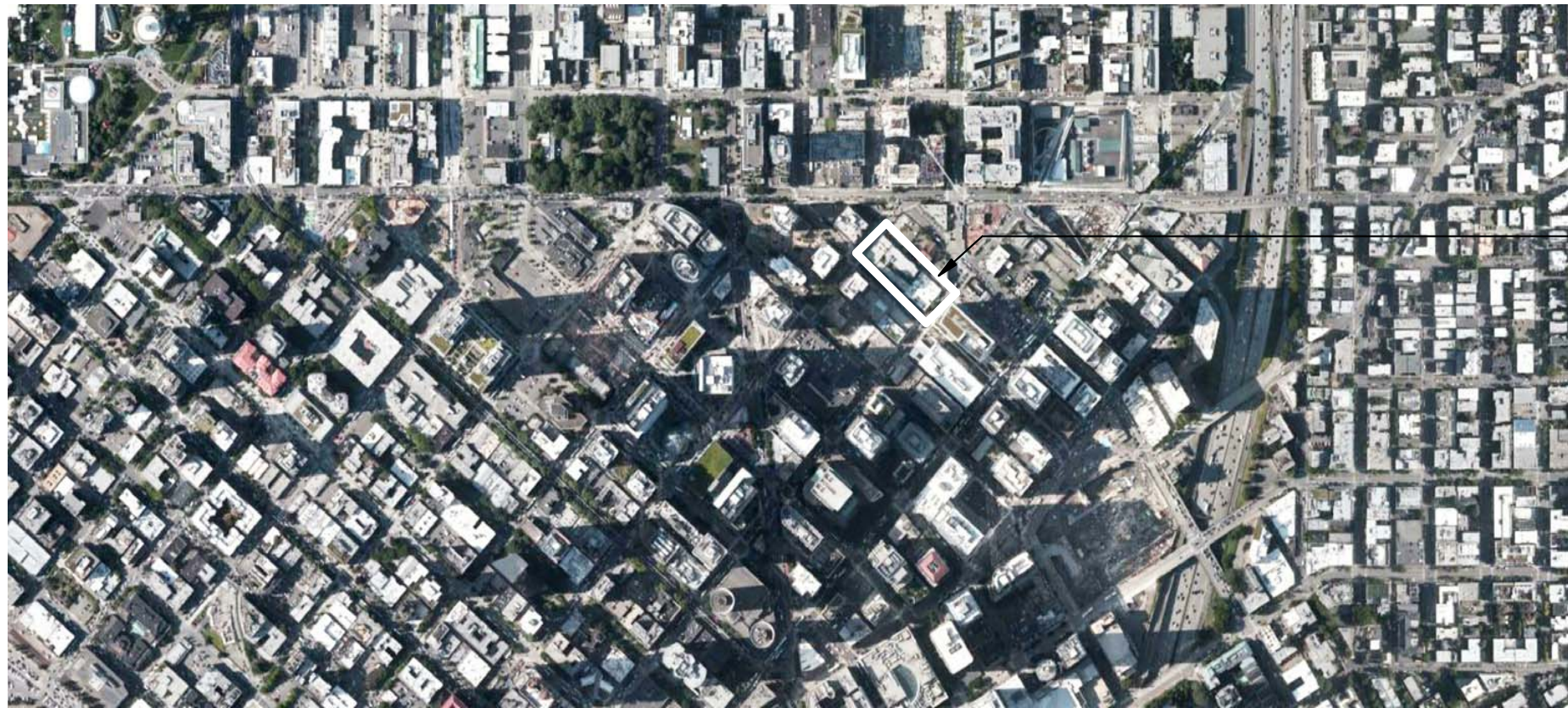
## 90% CHECK SET

PRIORITY #2 -  
AFFORDABLE HOUSING



WINDOWS ON RENDER DRAWINGS ARE SCHEMATIC AND DON'T FULLY MATCH FINAL DESIGN AND COLORS ARE PRELIMINARY AND SUBJECT TO CHANGE.

### VICINITY MAP



### PROJECT LEGAL DESCRIPTION

PAR A OF SEATTLE SHORT PLAN NUMBER #9104684, KCR# 199201080538

PARCEL NO.0660000-1460

### PROJECT TEAM

#### OWNER:

BELLWETHER HOUSING  
1651 BELLEVUE AVE  
SEATTLE, WA 98122

CONTACT:  
EMMA GEYER  
CONSTRUCTION MANAGER  
EMAIL: EGEYER@BELLWETHERHOUSING.ORG  
PHONE: 206-588-4821

ALEX HUTCHINSON  
PROJECT MANAGER  
EMAIL: AHUTCHINSON@BELLWETHERHOUSING.ORG  
PHONE: 207-787-5293

#### ARCHITECT:

ARC ARCHITECTS  
119 S MAIN ST, SUITE 200  
SEATTLE, WA 98104  
PHONE: 206-322-3322

CONTACTS:  
EMILY WHEELER, PRINCIPAL  
EMAIL: WHEELER@ARCARCHITECTS.COM  
LAUREN POWERS, PROJECT MANAGER  
EMAIL: POWERS@ARCARCHITECTS.COM

SAGHAR BEHINAEN, DESIGNER  
EMAIL: BEHINAEN@ARCARCHITECTS.COM

### PROJECT DESCRIPTION

EXTERIOR RECLAD OF EXISTING APARTMENT BUILDING. 65,000 SF WITH 3 STORY AND 7 STORY VOLUMES. RECLAD INCLUDES NEW WINDOWS, SIDING, WATERPROOFING, ENVELOPE REPAIRS, VENT CAPS, AND PARAPET CAPS.

UNITS TO REMAIN OCCUPIED DURING CONSTRUCTION.  
CONTRACTOR TO PROVIDE A TEMPORARY SEPARATION AT 2' IN FROM THE EXTERIOR WALL TO PROTECT THE TENANTS AND THE UNITS. OWNER WILL COORDINATE WITH TENANTS AND MOVING OF THEIR FURNITURE BEFORE THE TEMPORARY SEPARATION IS INSTALLED.

EXISTING BUILDING HAS AUTOMATIC FIRE SPRINKLER SYSTEM AND FIRE ALARM SYSTEMS THROUGHOUT.

### SITE INFORMATION

ADDRESS: 2020 TERRY AVE, SEATTLE, WA 98121

LOT SIZE: 18,611 SF  
ZONING: DMC 240/290-440

NUMBER OF BUILDINGS: 1  
NUMBER OF UNITS: 107  
BUILDING GROSS SIZE: 65,210 SF  
BUILDING NET SIZE: 40,078 SF  
YEAR BUILT: 1990  
CONSTRUCTION TYPE: WOOD FRAME  
OCCUPANCY: APARTMENT (300)

PARKING: EXISTING, NO CHANGE  
HEATING SYSTEM: ELECTRIC WAL, NO CHANGE

### SHEET INDEX

#### GENERAL

T0.0 PROJECT INFO  
T0.1 EXISTING AND NEW IMAGES  
T1.0 GENERAL + CODE NOTES

#### ARCHITECTURAL

A0.1 SITE PLAN  
A1.0 DEMO ELEVATIONS  
A1.1 DEMO ELEVATIONS  
A1.2 DEMO ELEVATIONS  
A1.3 DEMO DETAILS  
A2.1 1st FLOOR PLAN  
A2.2 2nd FLOOR PLAN  
A2.3 3rd FLOOR PLAN  
A2.4 4th FLOOR PLAN  
A2.5 5th FLOOR PLAN  
A2.6 6th FLOOR PLAN  
A2.7 7th FLOOR PLAN  
A2.8 ROOF PLAN  
A3.0 COLORED ELEVATIONS  
A3.1 EXTERIOR ELEVATIONS  
A3.2 EXTERIOR ELEVATIONS  
A3.3 EXTERIOR ELEVATION  
A5.1 INTERIOR ELEVATION - KITCHEN  
A5.2 INTERIOR ELEVATION - KITCHEN  
A5.3 INTERIOR ELEVATION - BATHROOM  
A7.0 EXISTING ASSEMBLIES  
A7.1 WINDOW SCHEDULE & WALL ASSEMBLIES  
A8.1 EXT DETAILS - TYPICAL WATERPROOFING  
A8.2 EXTERIOR DETAILS  
A8.4 EXTERIOR DETAILS

ar|c  
architecture resource collaborative

119 MAIN ST, STE #200  
SEATTLE, WA 98104-2579  
(206) 322-3322



TERRY APARTMENTS  
EXTERIOR RECLAD  
2020 TERRY AVENUE SEATTLE, WA 98121

bellwether  
housing  
opportunity. community. home.

### 90% CHECK SET

ISSUE DATE: OCT. 9, 2020

| REVISION SCHEDULE - NO PERMIT CLOUDS SHOWN IN BID SET |              |              |  |
|---|--------------|--------------|--|
| Rev #   | Date         | Description  |  |
| 1   | SEP 15, 2020 | PERMIT REV 1 |  |
| 2   | SEP XX, 2020 | PERMIT REV 2 |  |

#### CONTENTS:

### PROJECT INFO

SCALE: PRO/EGW  
DRAWN: SWL  
CHECKED: SWL  
PROJECT NO: 2019019.000

#### SHEET:

T0.0

**TERRY APARTMENTS**  
**EXTERIOR RECLAD**  
2020 TERRY AVENUE SEATTLE, WA 98121

## 90% CHECK SET



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|--|------|-------------|
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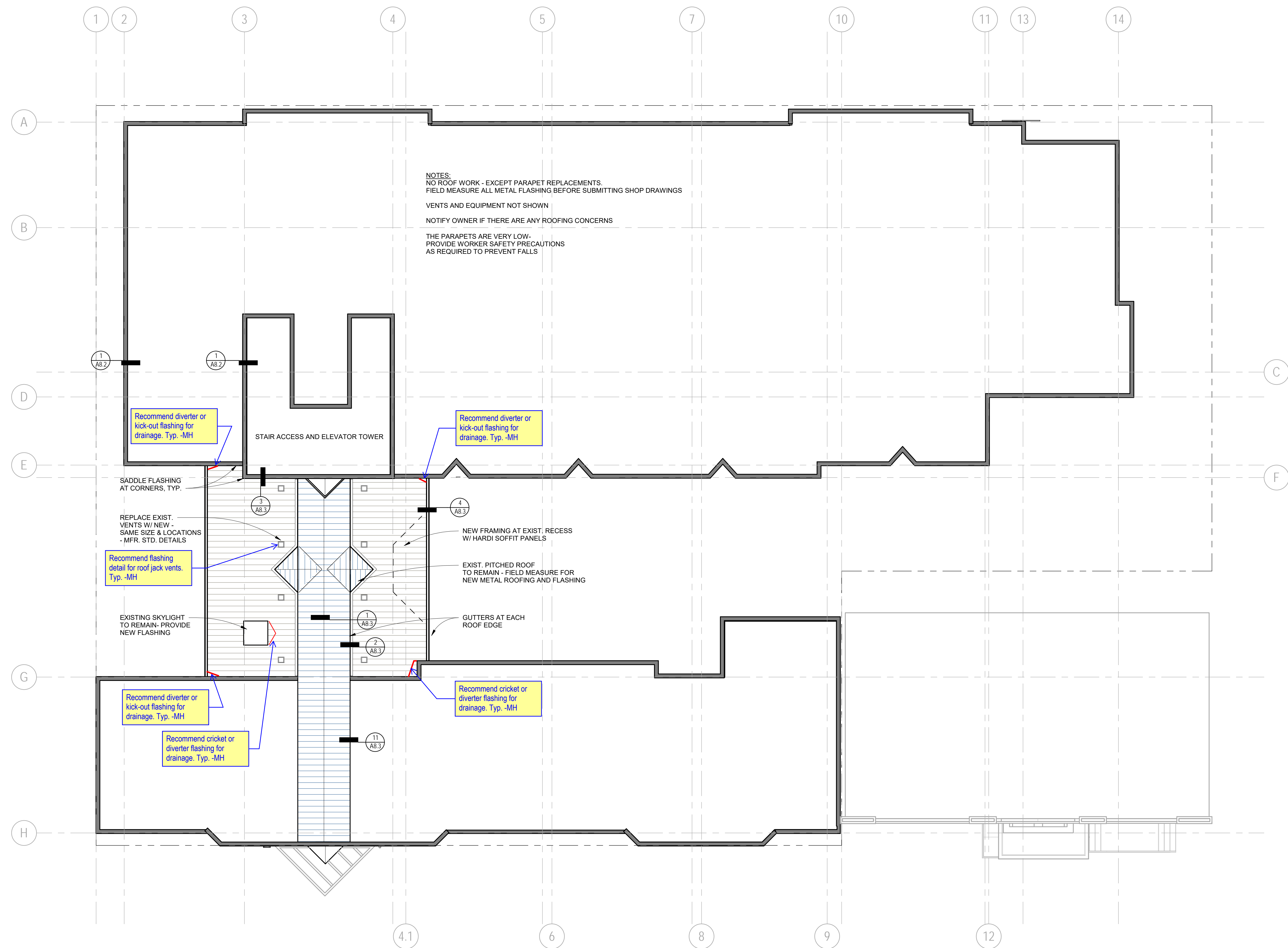
## CONTENTS:

## ROOF PLAN

|             |              |
|-------------|--------------|
| SCALE:      | 1/8" = 1'-0" |
| DRAWN:      | SB           |
| CHECKED:    | LP/EW        |
| PROJECT NO: | 2019019.000  |

**MEET:**

## A2.8



1 ROOF PLAN  
1/8" = 1'-0"



2 ROOF PHOTO

3 ROOF PHOTO

4 ROOF PHOTO

5 ROOF PHOTO



1 EAST WING - WEST ELEVATION @ COURTYARD  
1/8" = 1'-0"



2 EAST WING - EAST ELEVATION @ ALLEY  
1/8" = 1'-0"

### ELEVATION GENERAL NOTES:

1. REFER TO T1.0 FOR PROJECT GENERAL NOTES.
2. ALL EXTERIOR SIDING/ STUCCO/ TILE TO BE DEMOLISHED AND REPLACED
3. ALL EXTERIOR WINDOWS TO BE DEMOLISHED AND REPLACED PER SCHEDULE.
4. ALL EXISTING LIGHTING, CONDUITS, VENTS TO REMAIN.
5. REFER TO ROOF PLANS FOR ROOF DETAIL CALLOUTS AND DESCRIPTIONS
6. DRAWINGS INDICATE GENERAL & TYPICAL DETAILS OF CONSTRUCTION, WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER, TYPICAL DETAILS SHALL APPLY.

### ELEVATION KEY NOTES:

- 1 REPLACE EXISTING SIDING WITH MATERIAL #1 ( blue siding)
- 2 REPLACE EXISTING SIDING WITH MATERIAL #2 (white)
- 3 REPLACE EXISTING SIDING WITH MATERIAL #3 (navy blue)
- 4 REPLACE EXISTING SIDING WITH MATERIAL #4 (WOOD)
- 5 REPLACE EXISTING WINDOW, TYP. - SEE WINDOW SCHEDULE
- 6 REPLACE EXISTING PARAPET CAP
- 7 EXISTING CONCRETE TO BE REMAIN - PAINT
- 8 SIGNAGE
- 9 EXIST. STEEL CANOPY W/ GLASS. REMOVE GLASS, PREP AND HPC PAINT. INSTALL NEW LAMINATED GLAZING.
- 10 EXISTING METAL ROOF TO REMOVED AND REPLACED

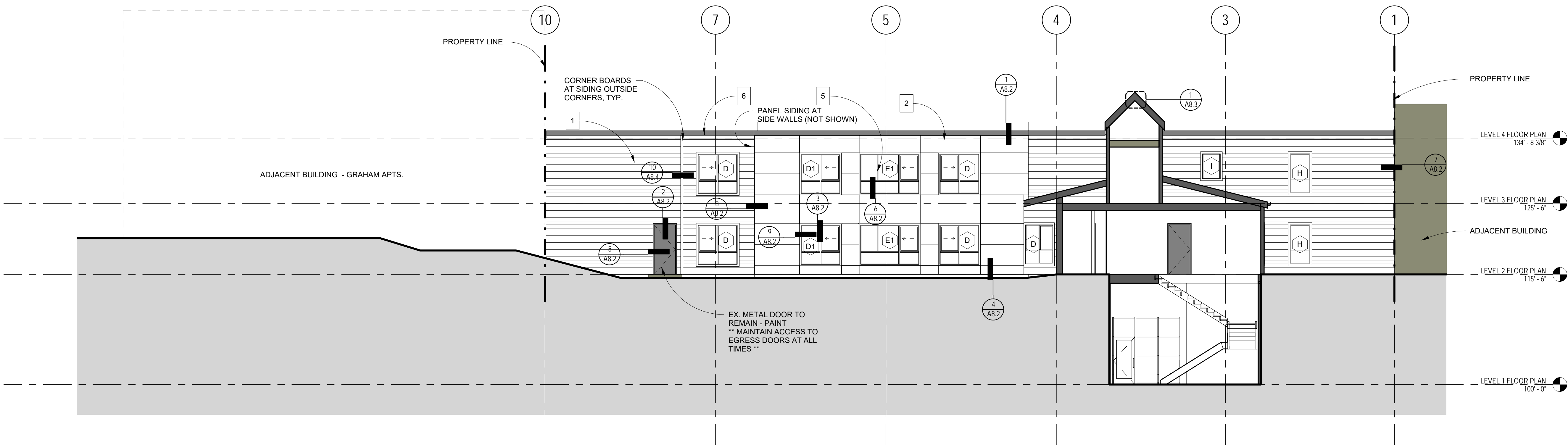
Recommend through-wall flashing at every other floor, at a minimum. Typ. -MH

ELEVATION GENERAL NOTES:

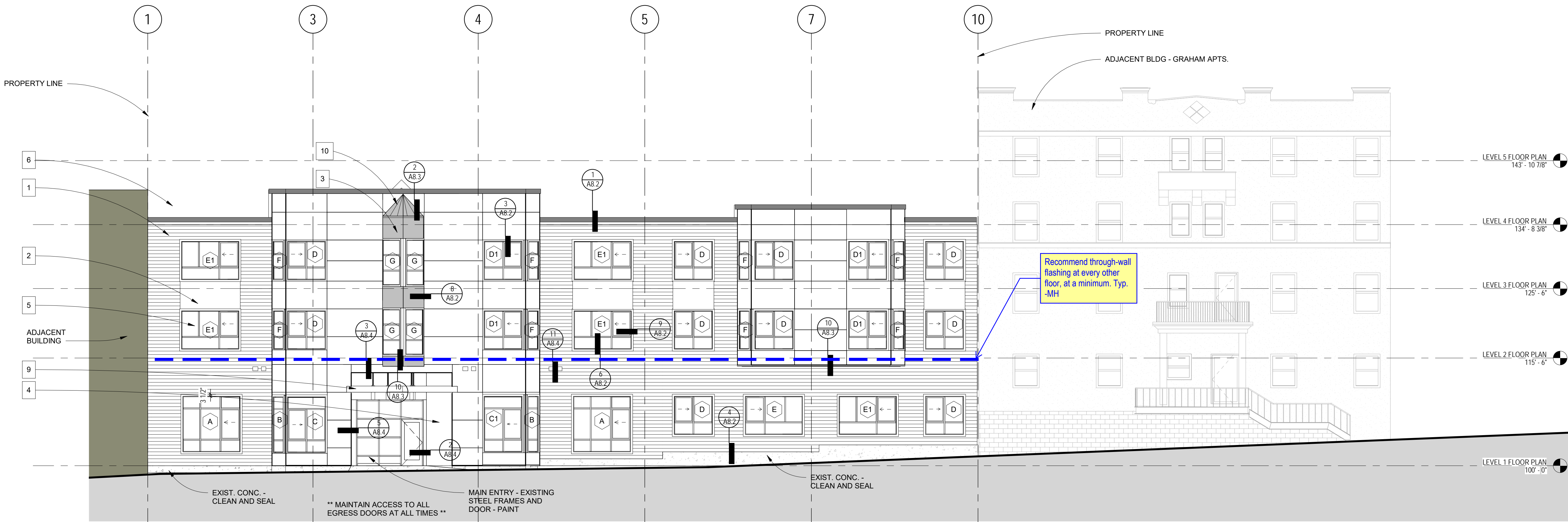
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7. EXISTING CONCRETE TO BE REMAIN - PAINT
8. SIGNAGE
9. EXIST. STEEL CANOPY W/ GLASS. REMOVE GLASS, PREP AND HPC PAINT. INSTALL NEW LAMINATED GLAZING
10. EXISTING METAL ROOF TO REMOVED AND REPLACED



1 WEST WING - EAST ELEVATION @ COURTYARD  
1/8" = 1'-0"



2 WEST WING - WEST ELEVATION  
1/8" = 1'-0"

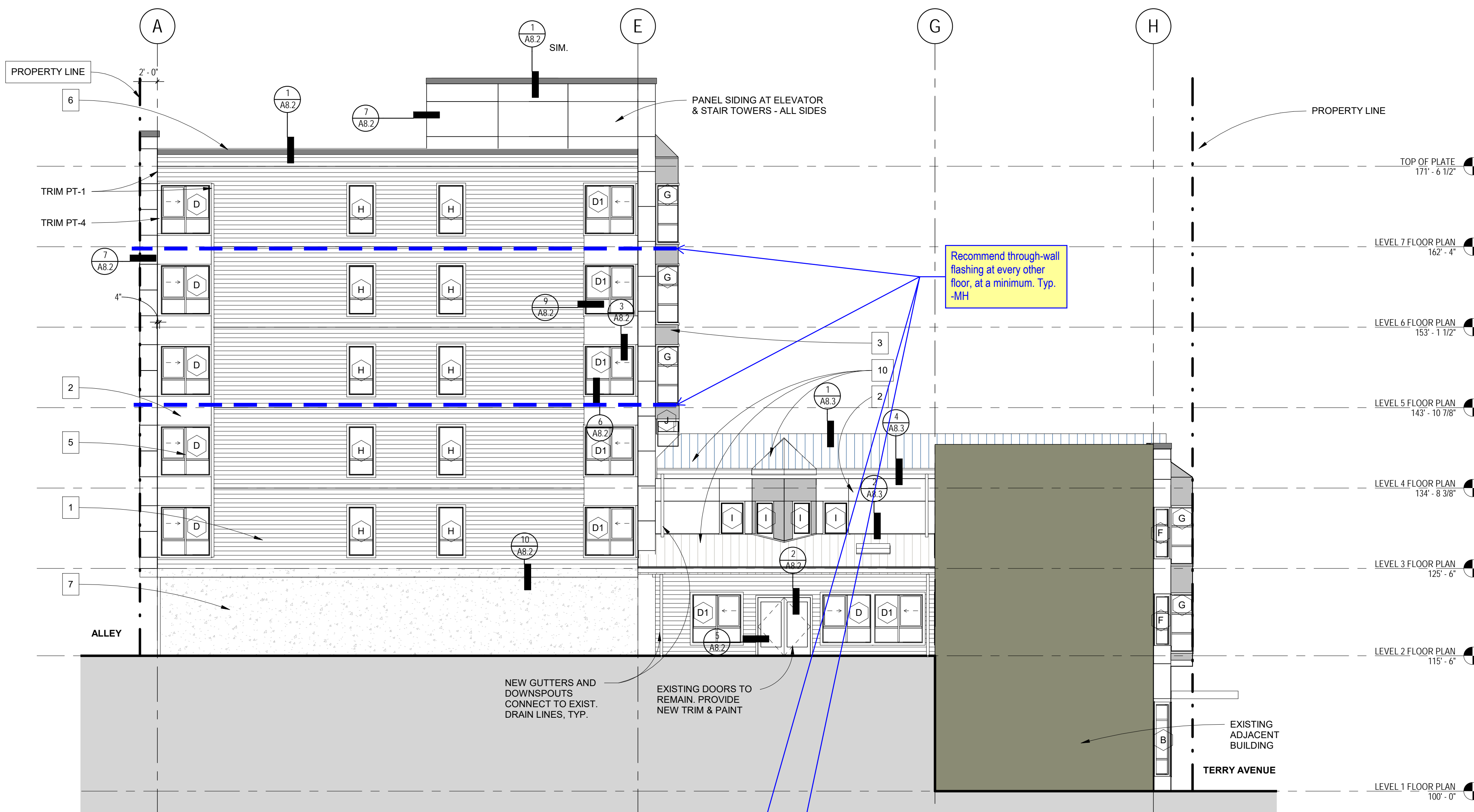
**TERRY APARTMENTS  
EXTERIOR RECLAD**  
2020 TERRY AVENUE SEATTLE, WA 98121

## ELEVATION GENERAL NOTES:

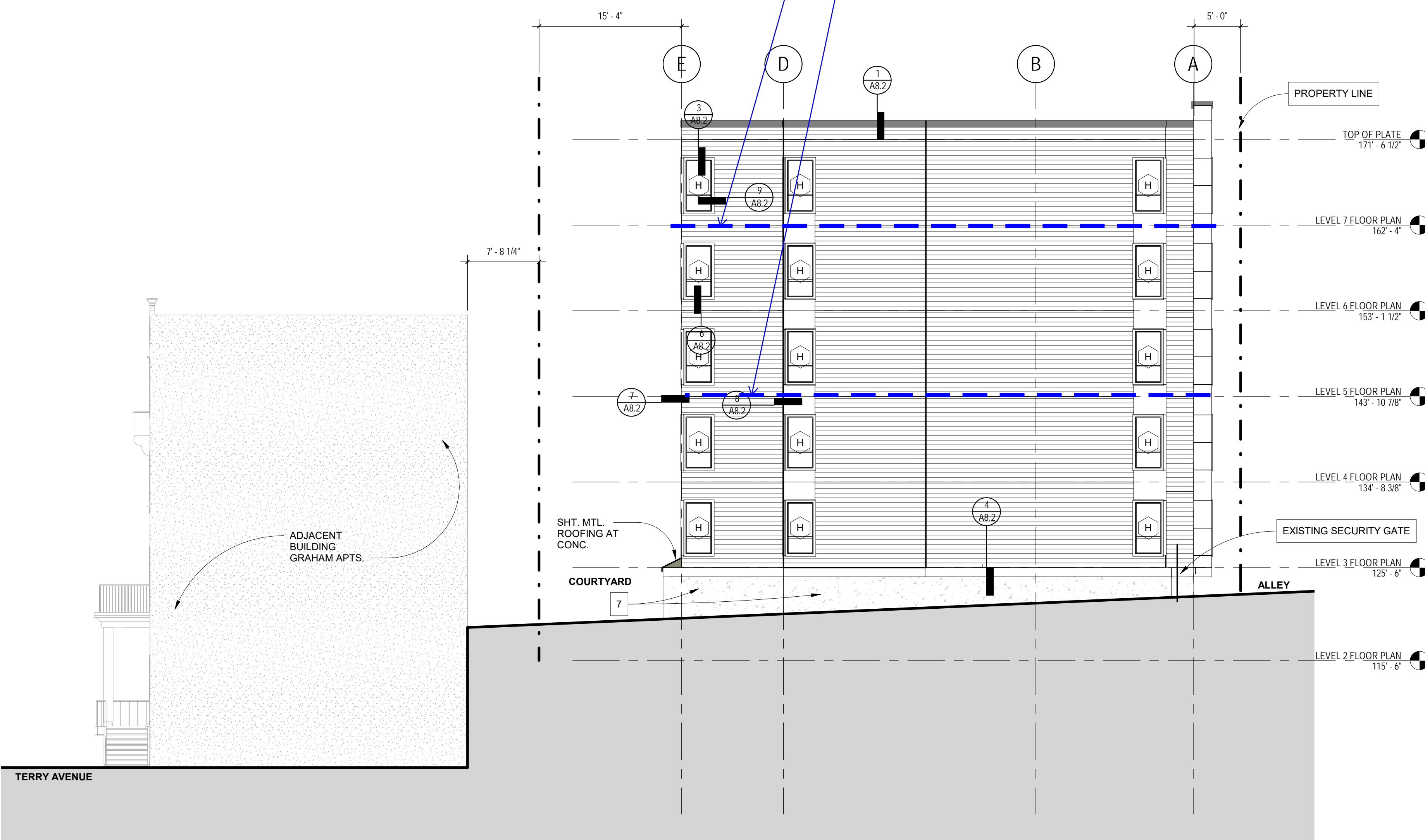
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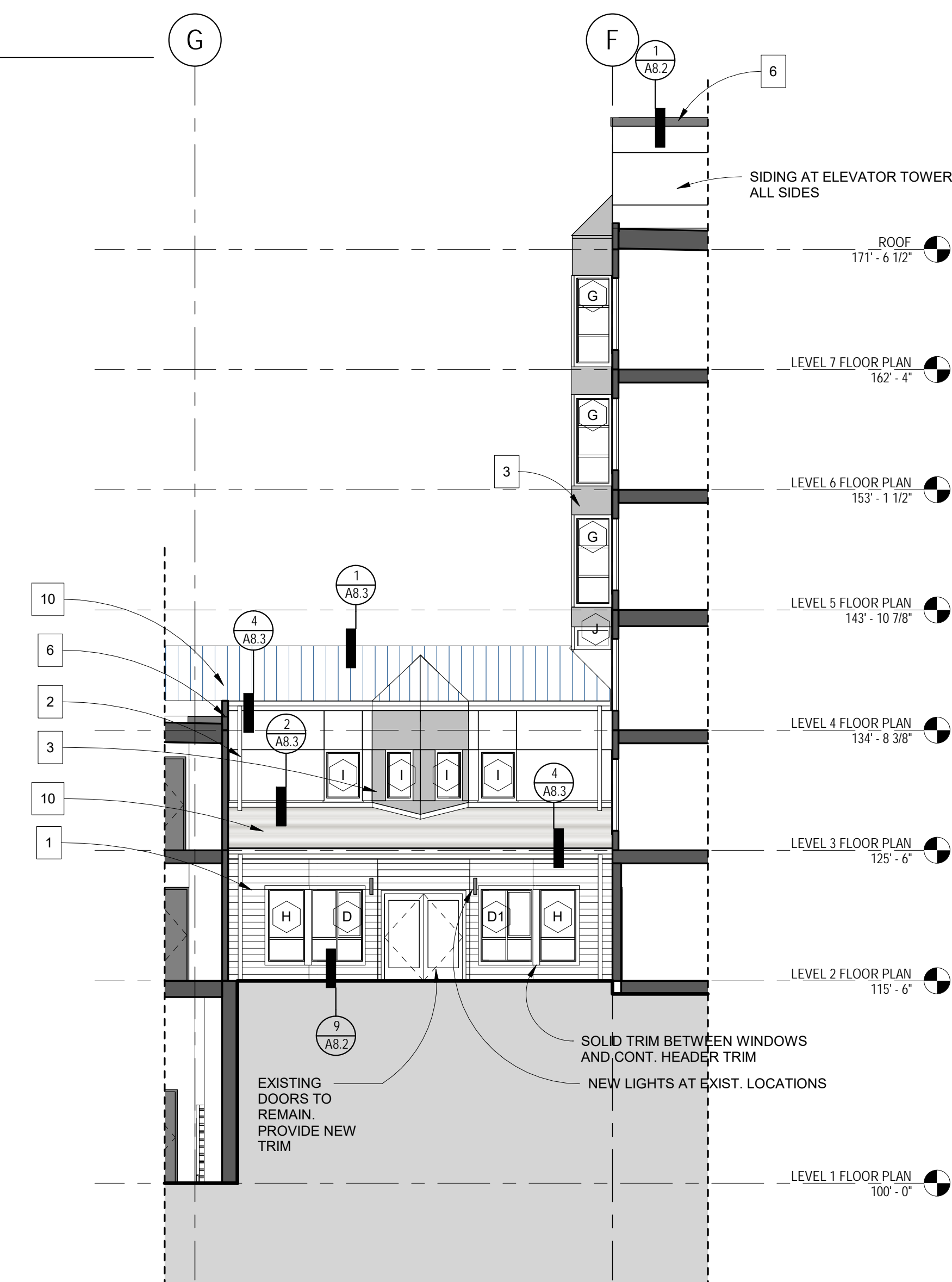
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- EXISTING METAL ROOF TO BE REMOVED AND REPLACED



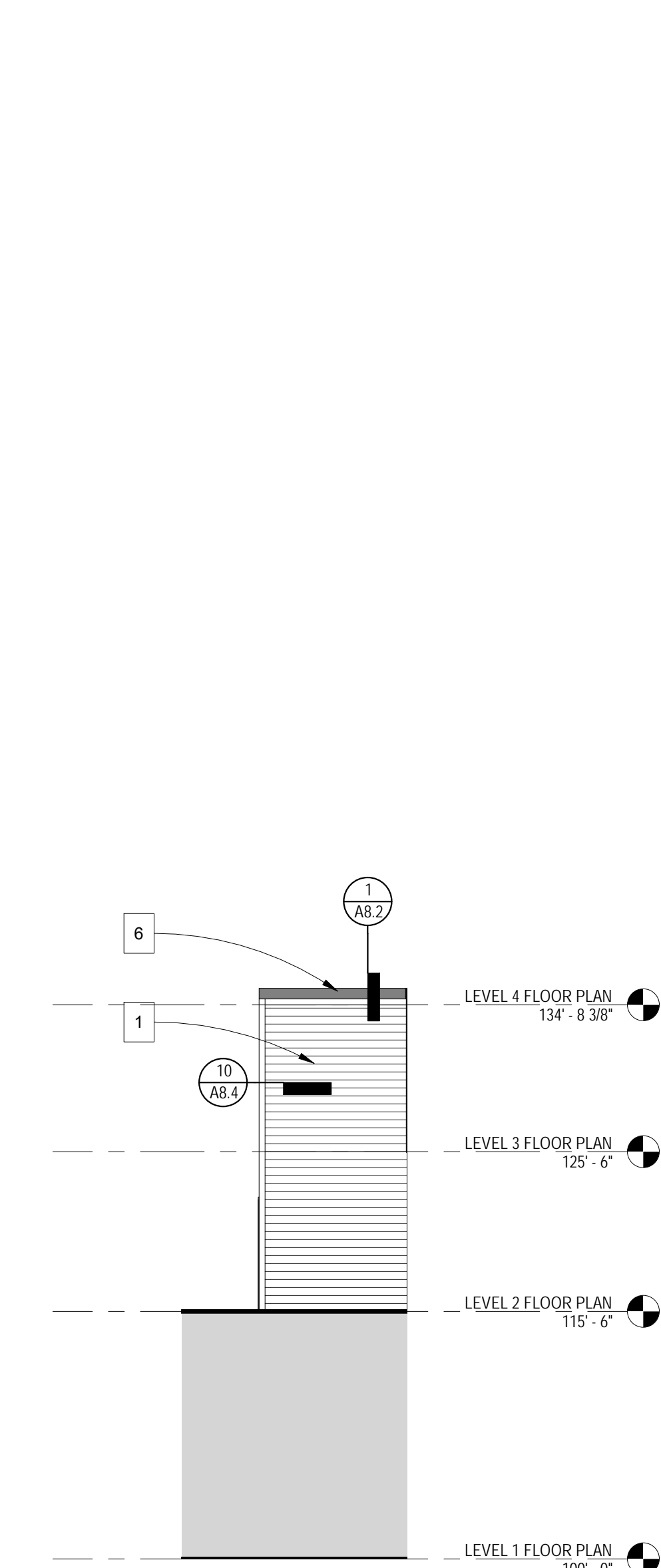
1 NORTH ELEVATION  
1/8" = 1'-0"



2 SOUTH ELEVATION  
1/8" = 1'-0"



3 COURTYARD - NORTH ELEVATION  
1/8" = 1'-0"

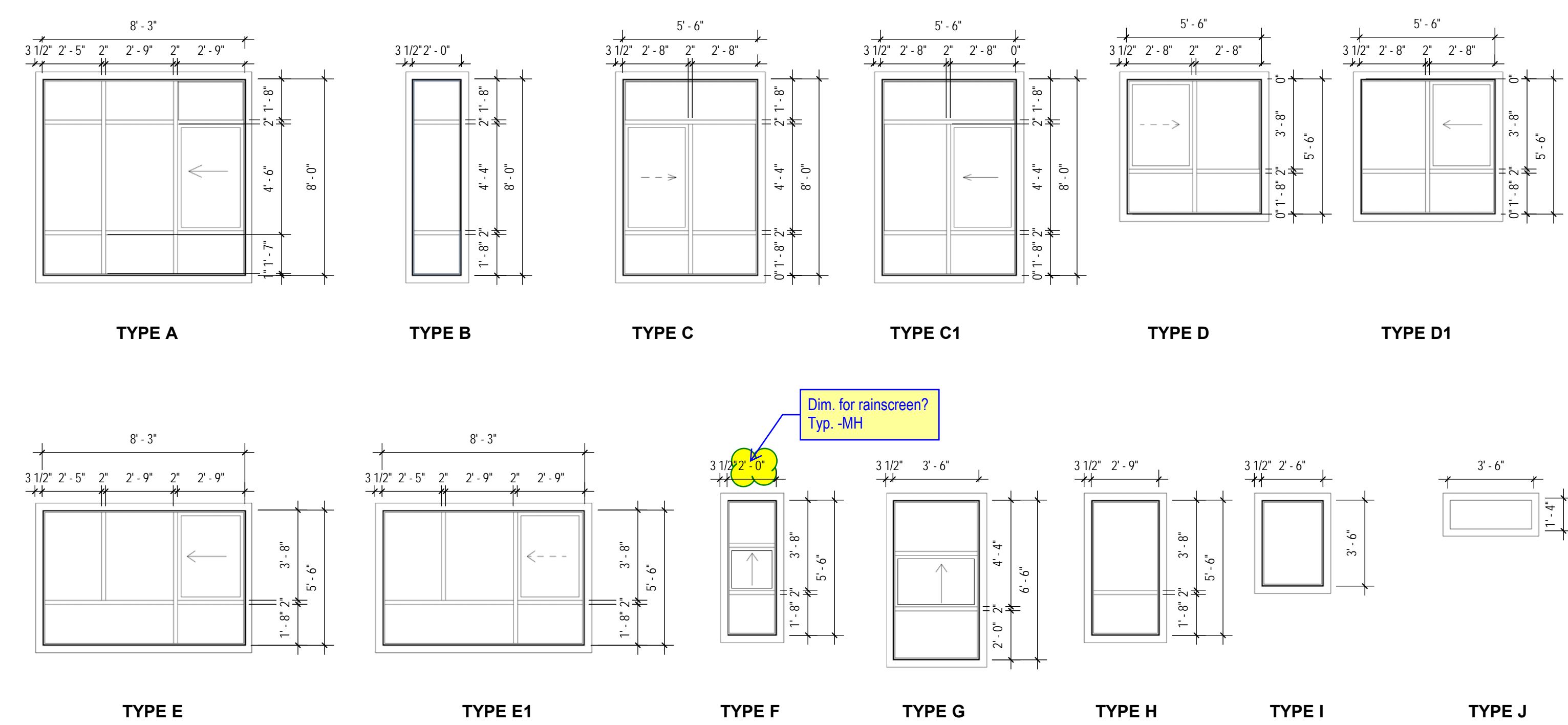


4 COURTYARD - SOUTH ELEVATION  
1/8" = 1'-0"

# TERRY APARTMENTS EXTERIOR RECLAD

2020 TERRY AVENUE SEATTLE, WA 98121

WINDOW TYPE



| Window Schedule           |      |         |         |       |
|---------------------------|------|---------|---------|-------|
| Type                      | Type | Width   | Height  | Count |
| Original drawing name     |      |         |         |       |
| A-8'3" x 8'               | A    | 8' - 3" | 8' - 0" | 2     |
| N-8'0" x 2'0" -black trim | B    | 2' - 0" | 8' - 0" | 2     |
| P-5'6" x 8'               | C    | 5' - 6" | 8' - 0" | 1     |
| P-5'6" x 8'               | C1   | 5' - 6" | 8' - 0" | 1     |
| D/E-5'6" x5'6"            | D    | 5' - 6" | 5' - 6" | 48    |
| D/E-5'6" x5'6"            | D1   | 5' - 6" | 5' - 6" | 49    |
| C-8'3" x 5.5'             | E    | 8' - 3" | 5' - 6" | 26    |
|                           | E1   | 8' - 3" | 5' - 6" | 32    |
| G-5'6" x 2'0"             | F    | 2' - 0" | 5' - 6" | 24    |
| Q-6'6" x 3'6" -color trim | G    | 3' - 6" | 6' - 6" | 10    |
| F-5'6" x 2'9"             | H    | 2' - 9" | 5' - 6" | 29    |
| S-2'6" x 3'6"             | I    | 2' - 6" | 3' - 6" | 9     |
| I-3'6"x3' -COLORTRIM      | J    | 3' - 6" | 1' - 4" | 2     |

REVISE TO SMALLER WINDOW

ENERGY CODE NOTES

2015 SEATTLE ENERGY CODE  
CLIMATE ZONE: KING COUNTY - 4C

TABLE C402.2  
ROOF INSULATION: EXISTING - NO CHANGE  
WALL INSULATION FOR WOOD FRAMED: MIN R-19 - EXISTING  
UNHEATED SLABS: EXISTING - NO CHANGE

OPAQUE DOORS: U= 0.37 - EXISTING - NO CHANGE

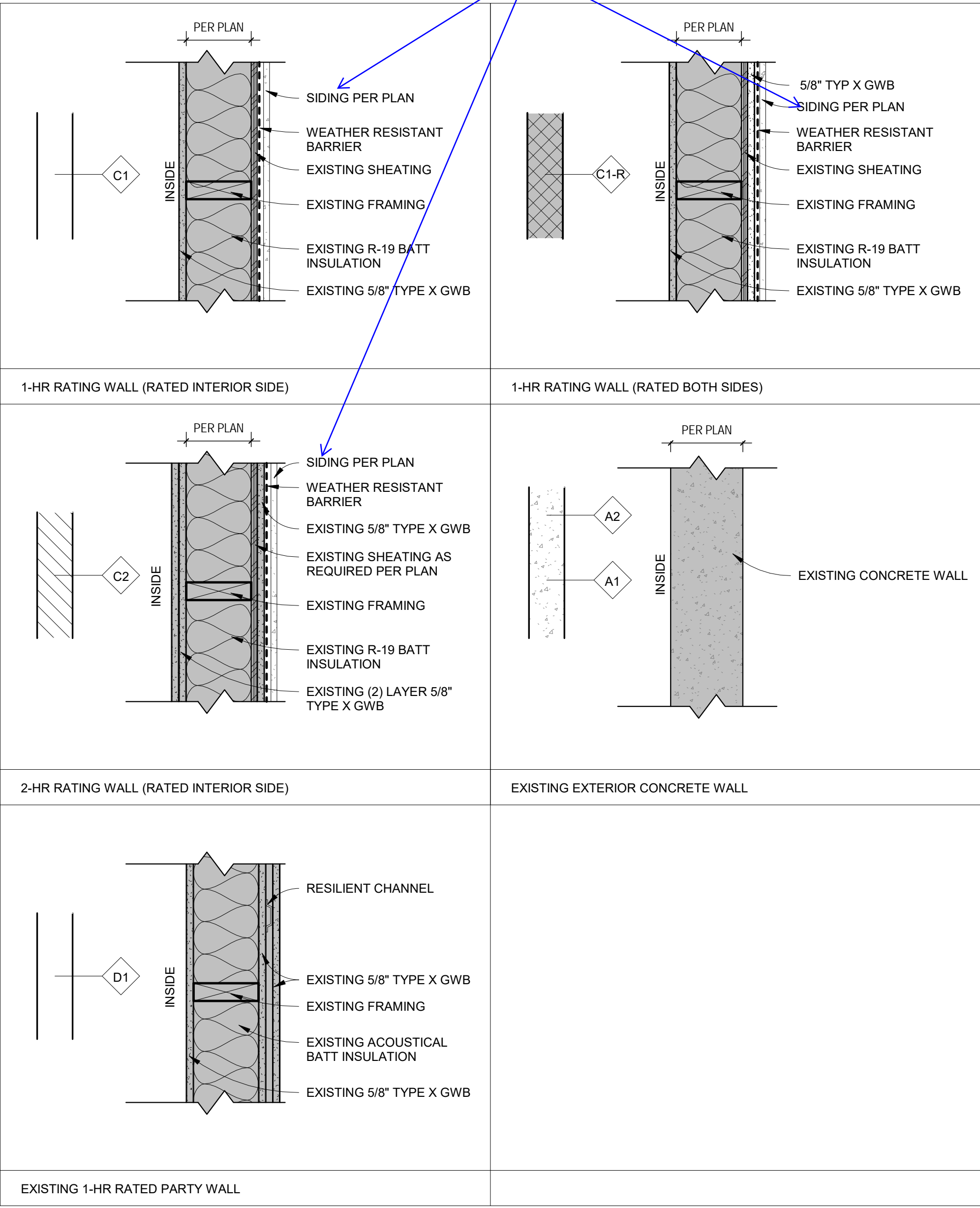
TABLE C402.3 FENESTRATION REQUIREMENTS  
REPLACE EXISTING WINDOWS / VERTICAL FENESTRATIONS:  
NON METAL U-VALUE= 0.30 MAX  
ENTRANCE DOORS U-VALUE = 0.60 MAX  
SHGC: 0.40 MAX

C402.3.1 MAXIMUM GLAZING IS 30% OF GROSS ABOVE GRADE WALL AREA  
MAXIMUM SKYLIGHTS IS 3% OF ROOF AREA  
THE PROJECT DOES NOT HAVE SKYLIGHTS  
THE EXISTING WINDOWS ARE LESS THAN 30% OF WALL AREA

WINDOW NOTES

- 1- ALL WINDOWS ARE VINYL (VPI OR SIMILAR) AND SHALL HAVE INSULATED GLAZING WITH MAXIMUM U-VALUE OF 0.30 MAX.
- 2- WINDOW OPENING CONTROL DEVICES COMPLYING WITH ASTM F 2080 SHALL BE INSTALLED ON ALL OPERABLE WINDOWS TO LIMIT THE OPENING TO LESS THAN 4" MAX.
- 3- ALL WINDOWS/ GLAZING UNITS WITHIN 18" OF THE GROUND SHALL HAVE TEMPERED GLAZING

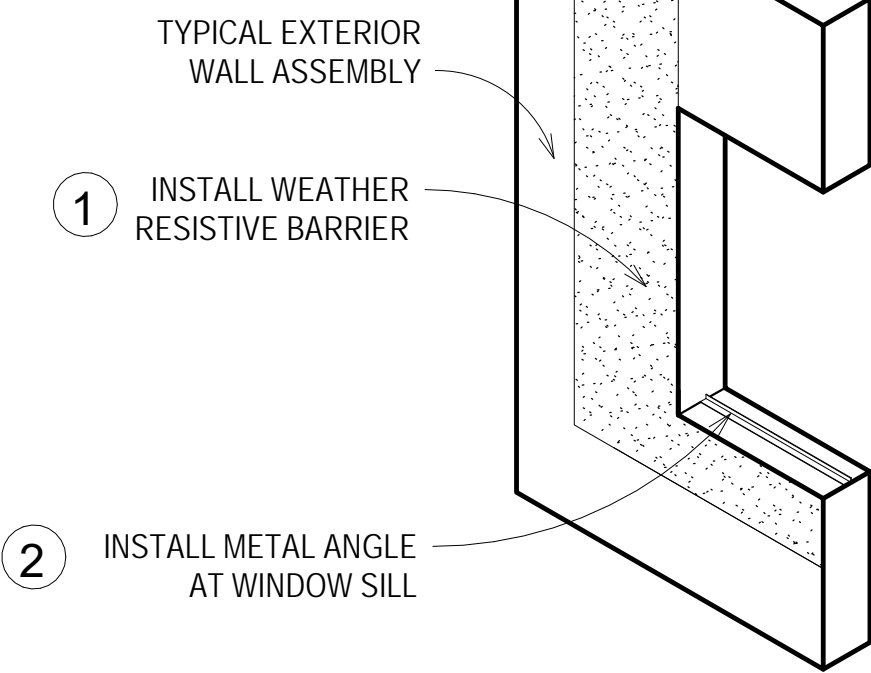
WALL ASSEMBLIES



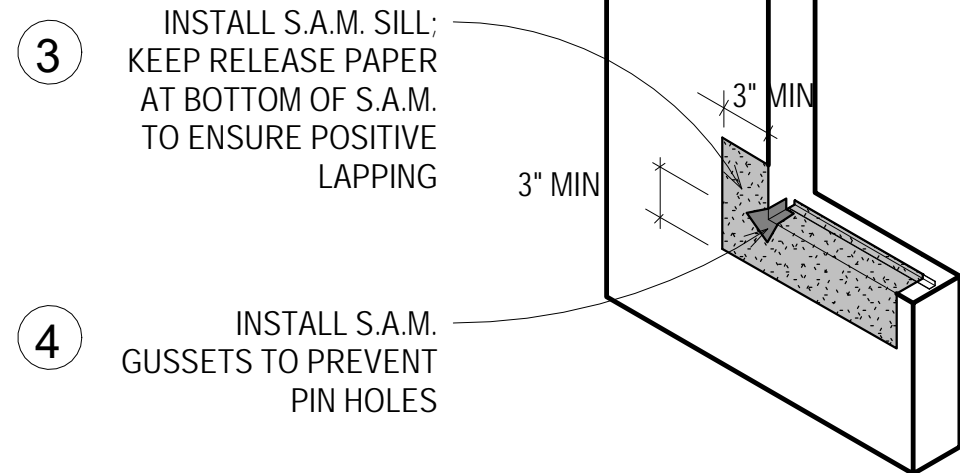
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|---|--------------|--------------|
| ISSUE DATE: OCT. 9, 2020                              |              |              |
| REVISION SCHEDULE - NO PERMIT CLOUDS SHOWN IN BID SET |              |              |
| Rev #   | Date         | Description  |
| 1   | SEP 15, 2020 | PERMIT REV 1 |

|                                   |              |
|-----------------------------------|--------------|
| CONTENTS:                         |              |
| WINDOW SCHEDULE & WALL ASSEMBLIES |              |
| SCALE:                            | As Indicated |
| DRAWN:                            | SB           |
| CHECKED:                          | LP/EW        |
| PROJECT NO:                       | 2019019.000  |

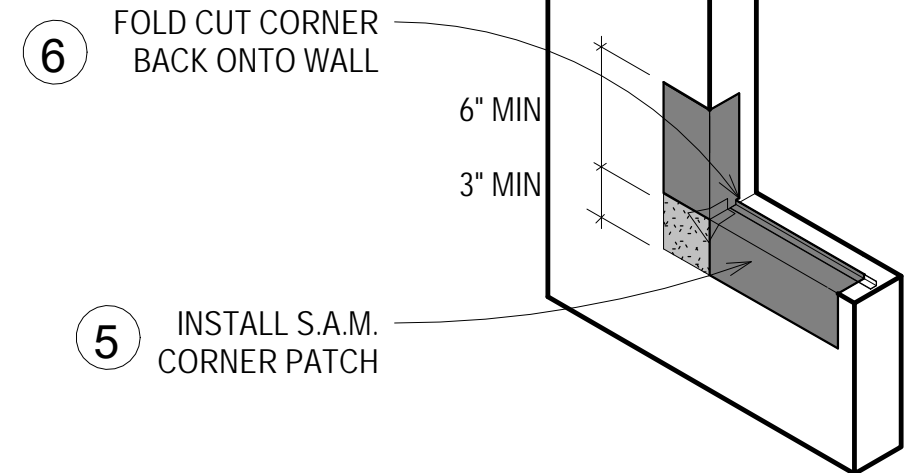
NOTE: VERIFY FLASHING AND OVERLAPPING DIMENSIONS PER MFR INSTRUCTIONS



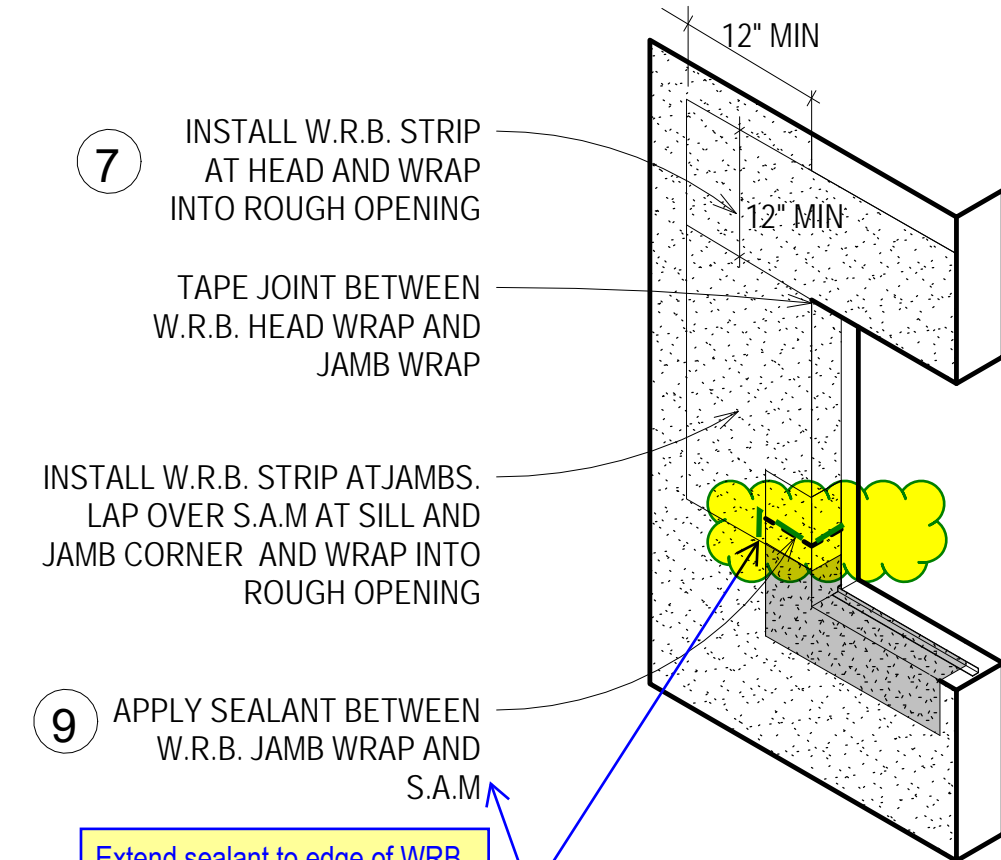
STEP 1-2



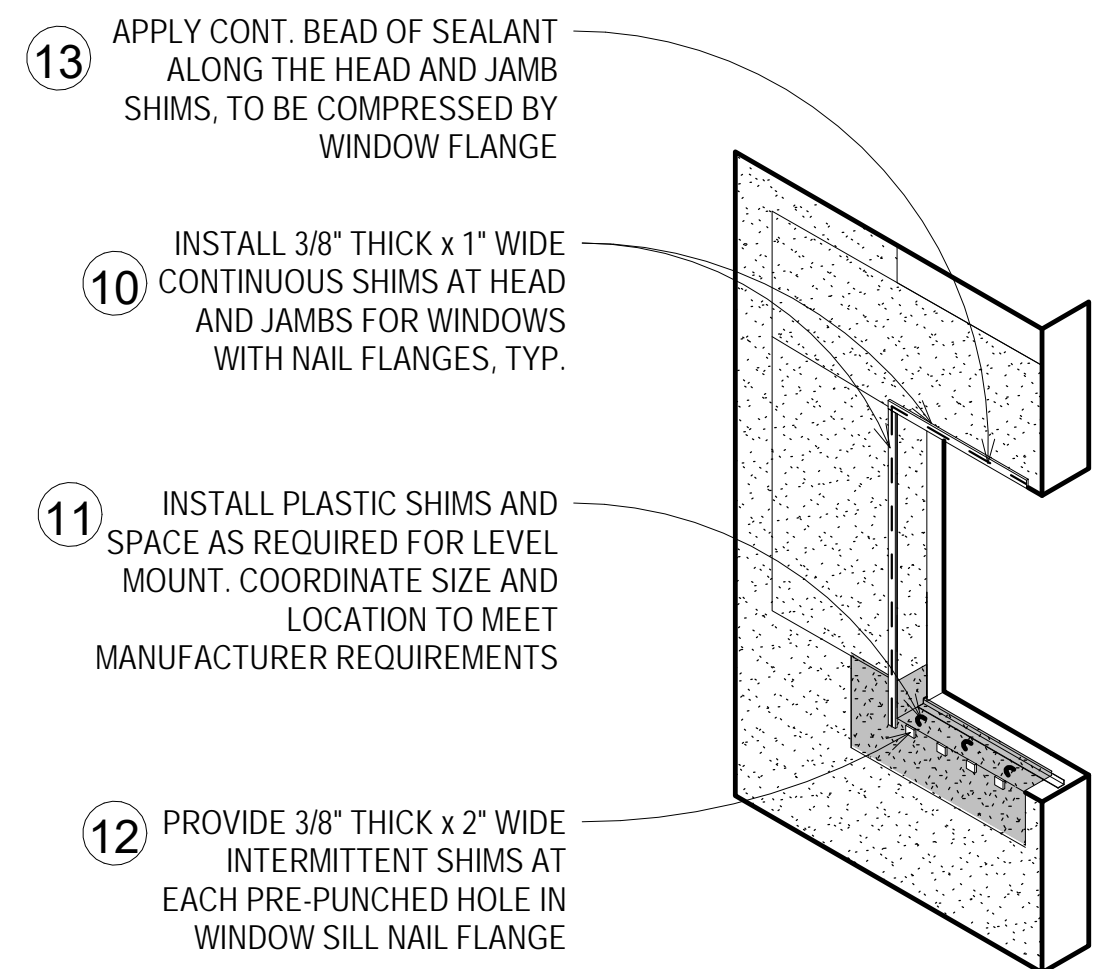
STEP 3-4



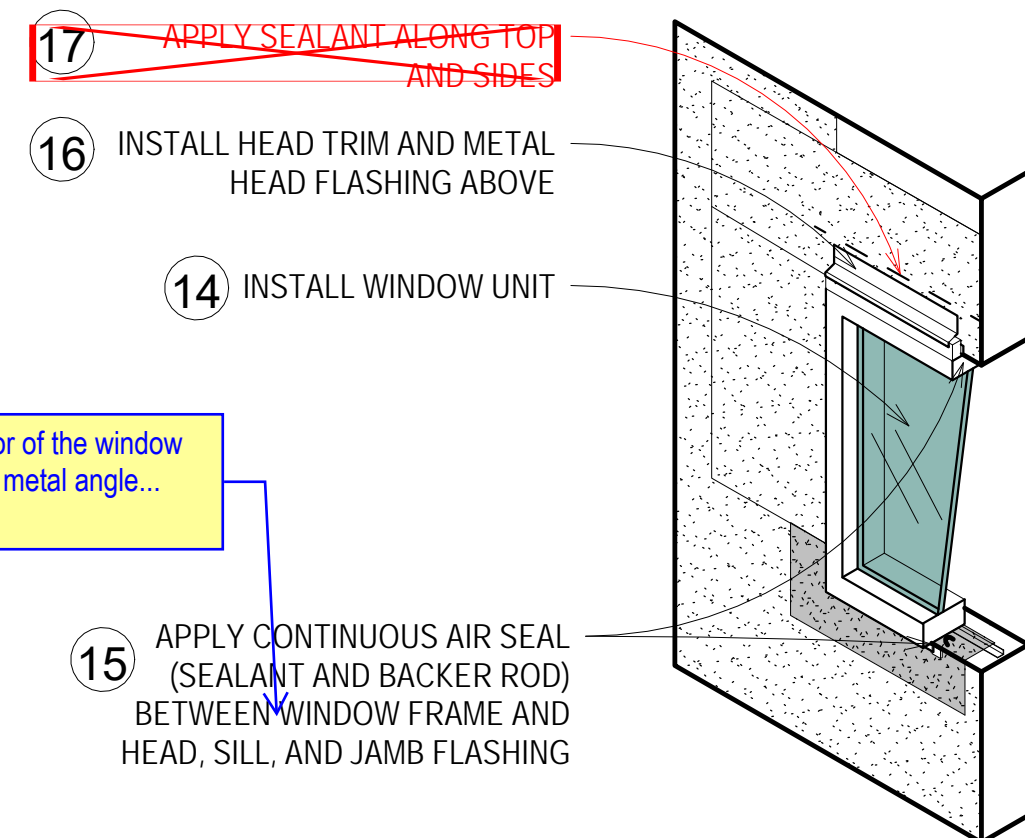
STEP 5-6



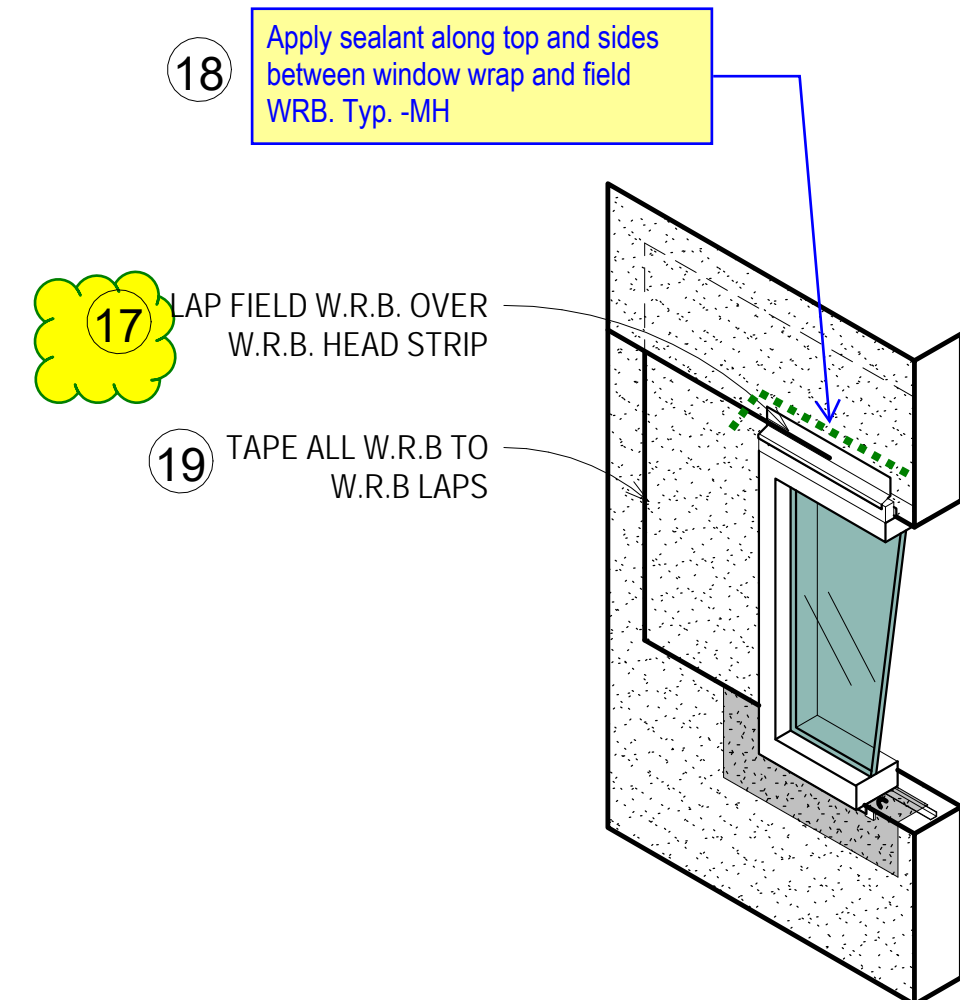
STEP 7-9



STEP 10-13



STEP 14-17



STEP 18-19

#### Sealant Schedule

##### Use

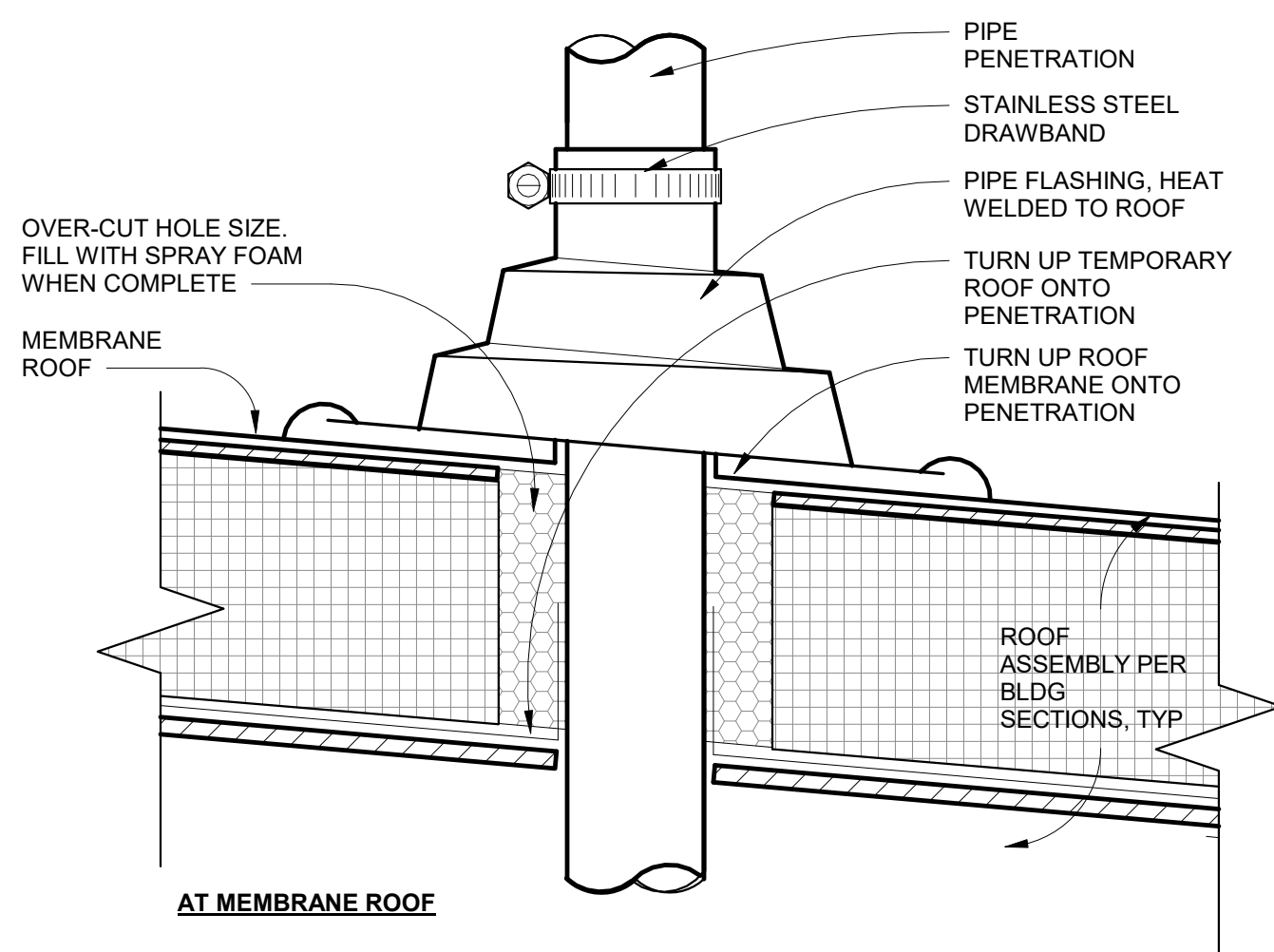
Air/Weather Resistive Barrier  
Vinyl Windows to Wood Nailers  
Metal-to-metal/metal-to-glass  
Exterior paintable joints

##### Products

Dowsil 758 silicone sealant; GE Silpruf SCS2350 silicone sealant  
Dowsil 790 silicone sealant; GE Silpruf SCS2700 silicone sealant  
Dowsil 795 silicone sealant; GE Silpruf SCS2000 silicone sealant  
BASF Sonolastic 150 sealant; Tremco Dymonic FC sealant

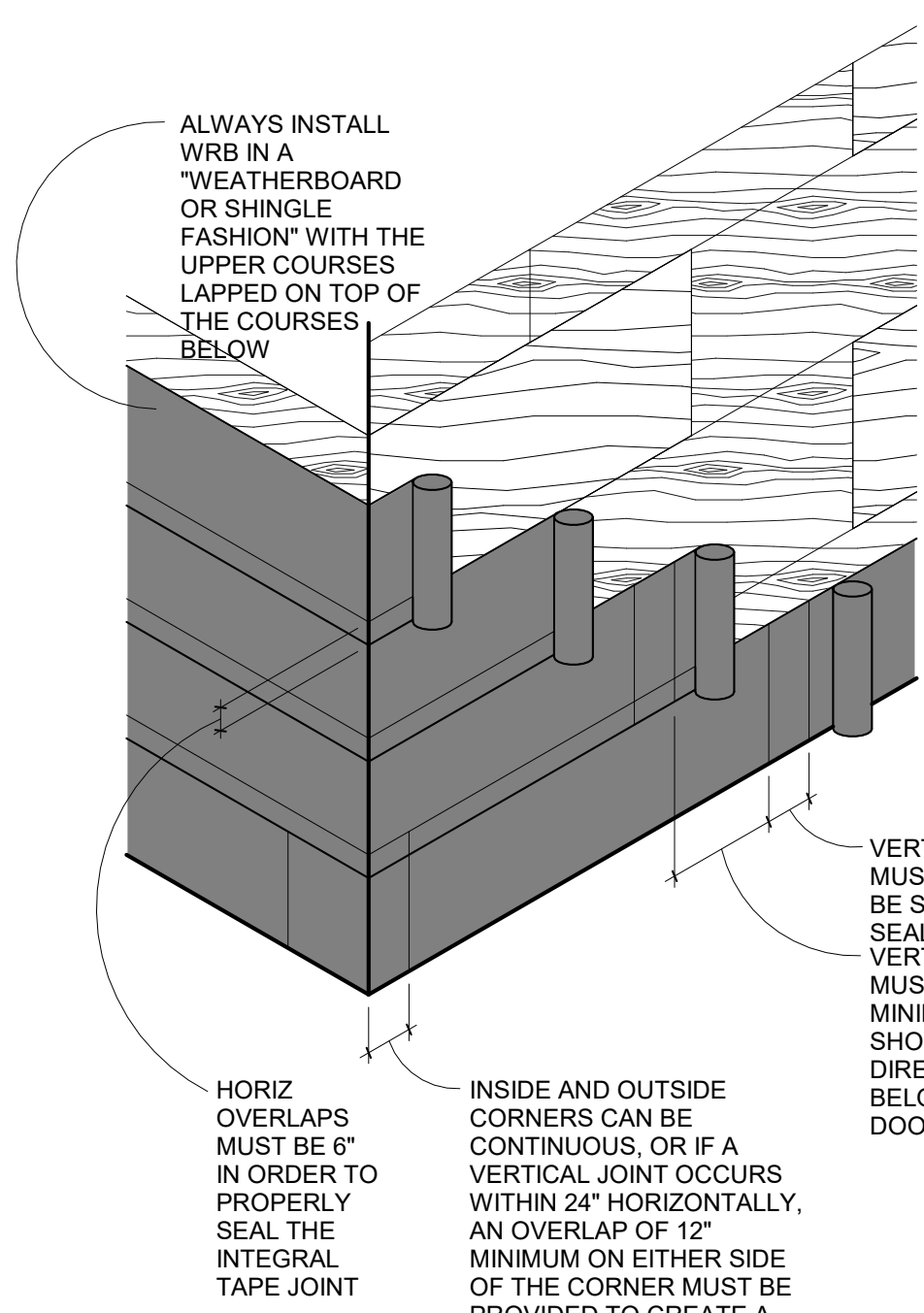
## 1 TYPICAL WINDOW INSTALLATION SEQUENCE

1/2" = 1'-0"



AT MEMBRANE ROOF

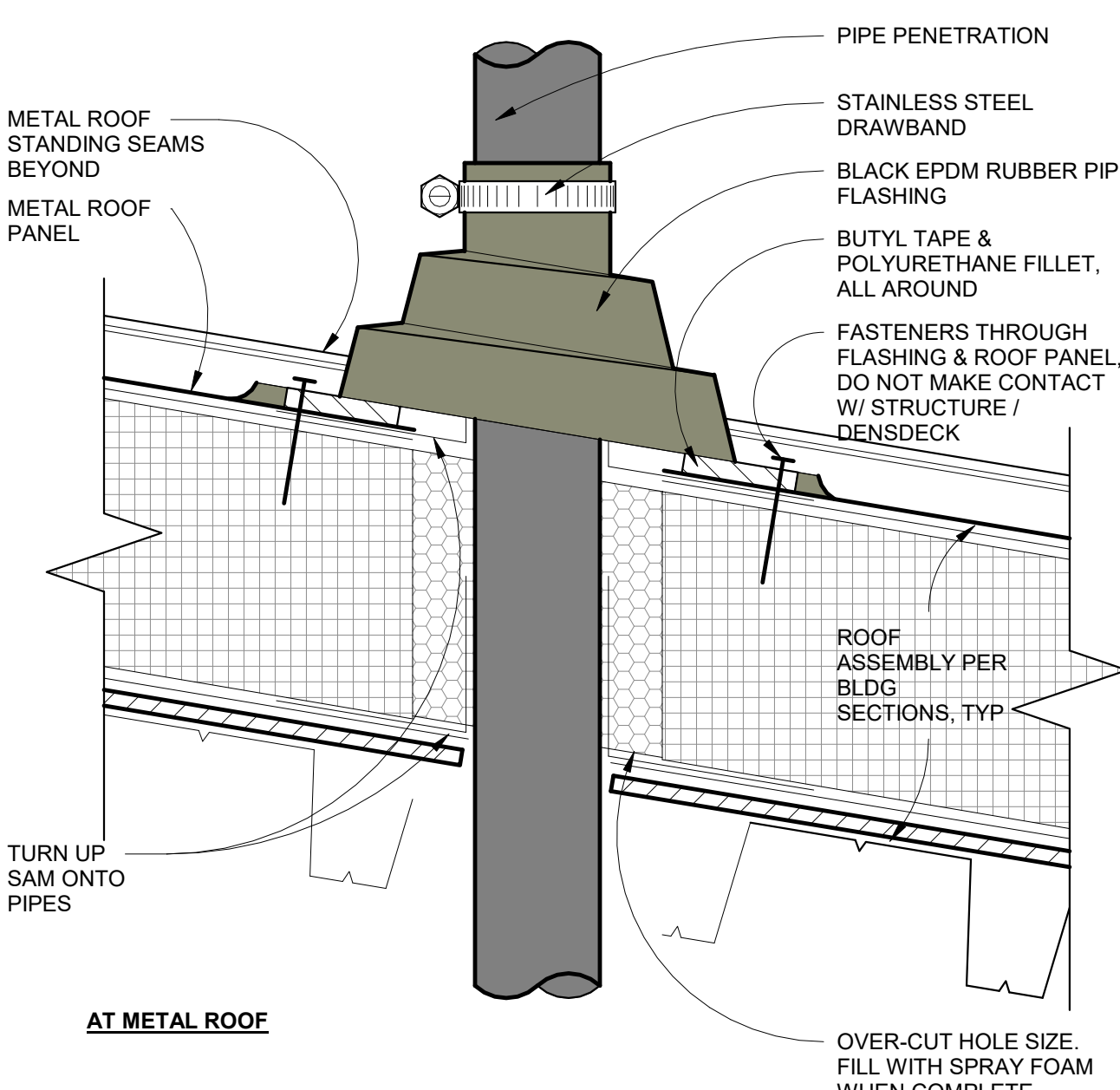
NOTE: WRB IS MECHANICALLY FASTENED TO THE SUBSTRATE. STAINLESS STEEL STAPLES OR CAP NAILS MAY BE USED AS TEMPORARY FASTENERS DURING INSTALLATION BUT ONLY AT LOCATIONS THAT WILL BE COVERED BY THE SHINGLING OF THE NEXT LAYER OF MATERIAL



## 2 SCUPPER DETAIL

## 4 PRIMARY WRB INSTALLATION

1/4" = 1'-0"

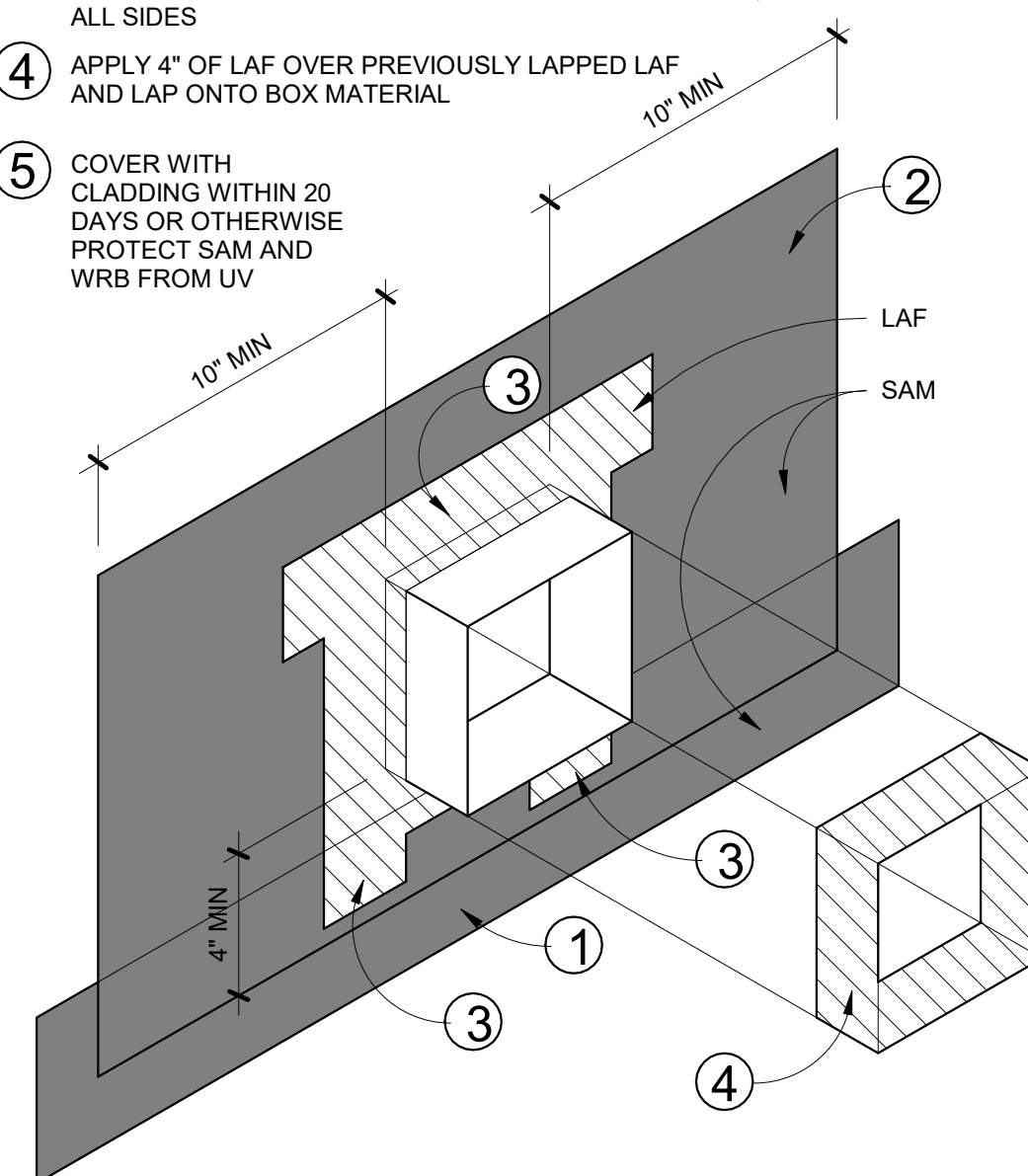


AT METAL ROOF

## 6 TYPICAL ROOF PENETRATION DETAILS

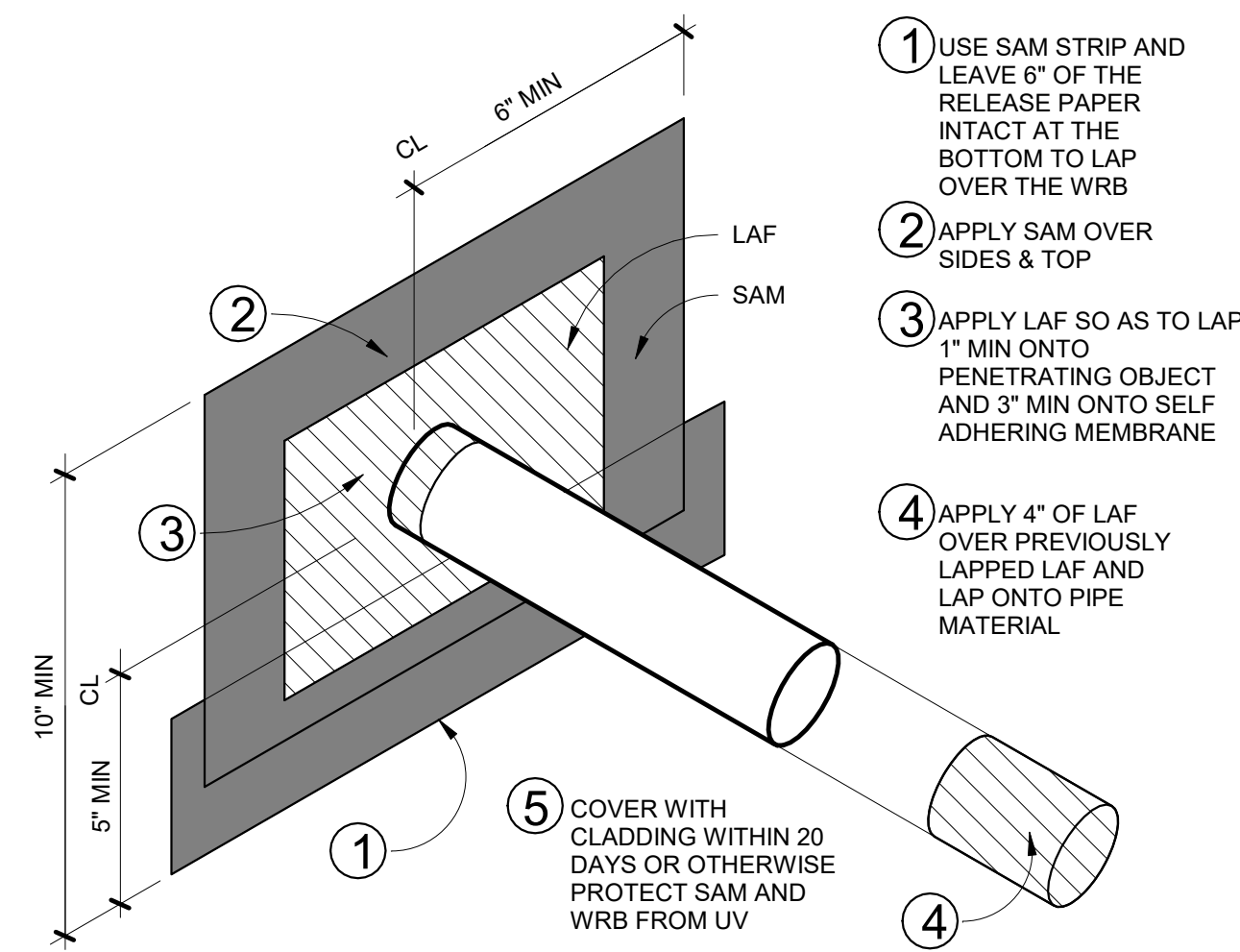
3" = 1'-0"

- 1 USE SAM STRIP AND LEAVE 6" OF THE RELEASE PAPER INTACT AT THE BOTTOM TO LAP OVER THE WRB
- 2 APPLY SAM AT SIDES & TOP
- 3 APPLY LAF SO AS TO LAP 1" MIN ONTO PENETRATING OBJECT AND 3" MIN ONTO SELF ADHERING MEMBRANE, ALL SIDES
- 4 APPLY 4" OF LAF OVER PREVIOUSLY LAPPED LAF AND LAP ONTO BOX MATERIAL
- 5 COVER WITH CLADDING WITHIN 20 DAYS OR OTHERWISE PROTECT SAM AND WRB FROM UV



## 7 TYPICAL RECT. PENETRATION SEALS

1 1/2" = 1'-0"



## 8 TYPICAL ROUND PENETRATION SEALS

3" = 1'-0"

### 90% CHECK SET



ISSUE DATE: OCT. 9, 2020

REVISION SCHEDULE - NO PERMIT  
CLOUDS SHOWN IN BID SET

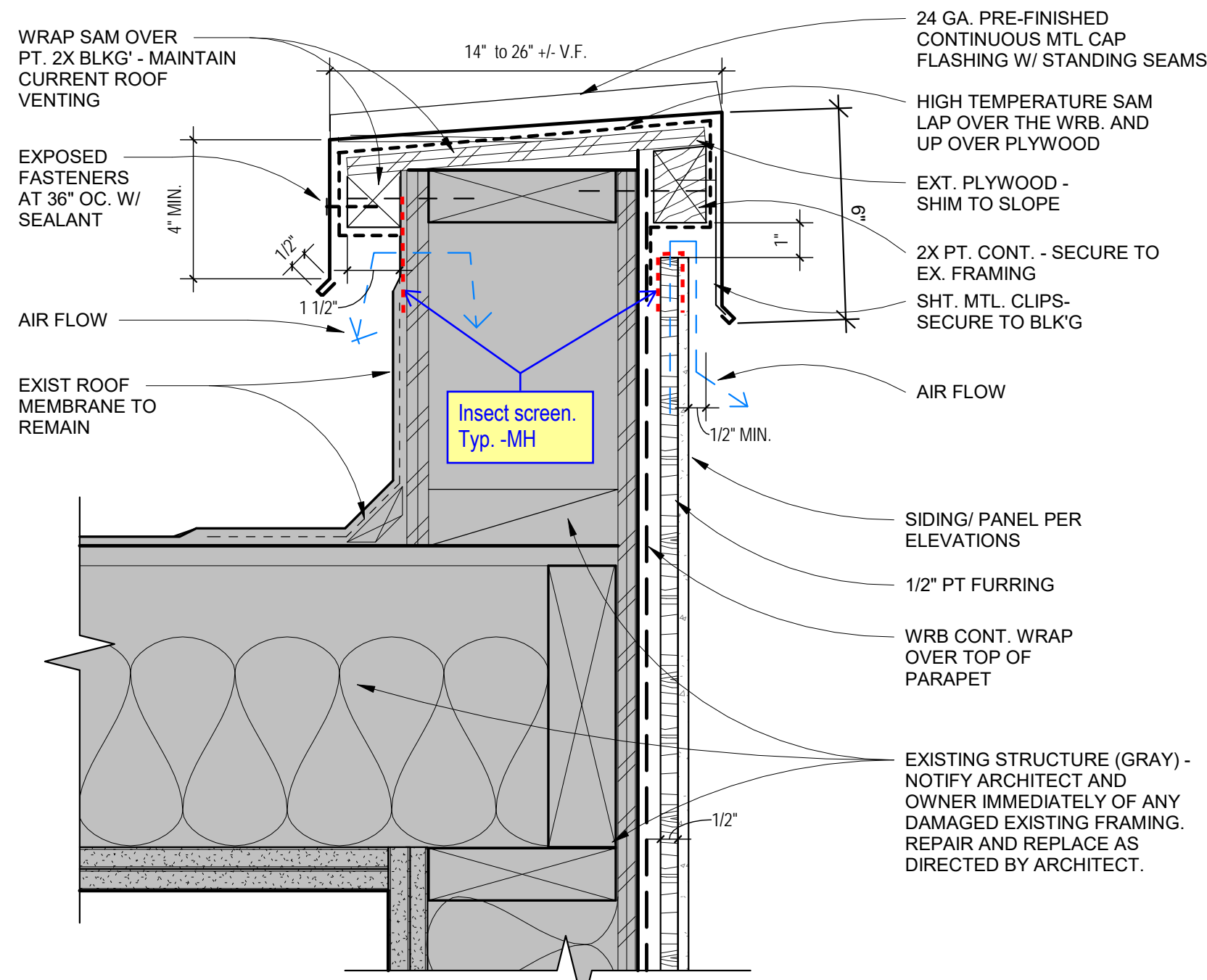
| Rev # | Date | Description |
|-------|------|-------------|
|-------|------|-------------|

### EXT DETAILS - WATERPROOFING

SCALE: As Indicated  
DRAWN: SB  
CHECKED: EGW  
PROJECT NO: 2019019.000

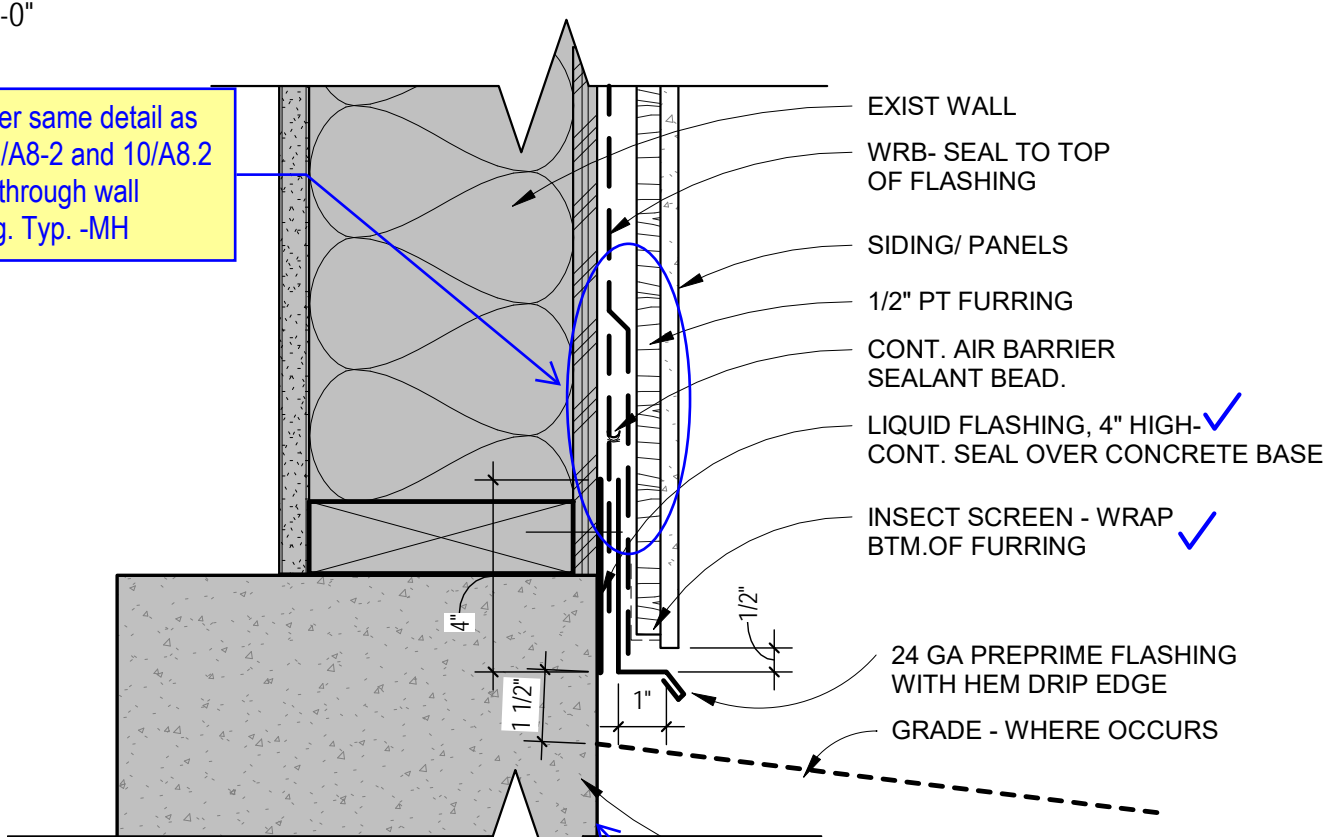
SHEET:  
**A8.1**

| REVISION SCHEDULE - NO PERMIT<br>CLOUDS SHOWN IN BID SET |              |              |
|--|--------------|--------------|
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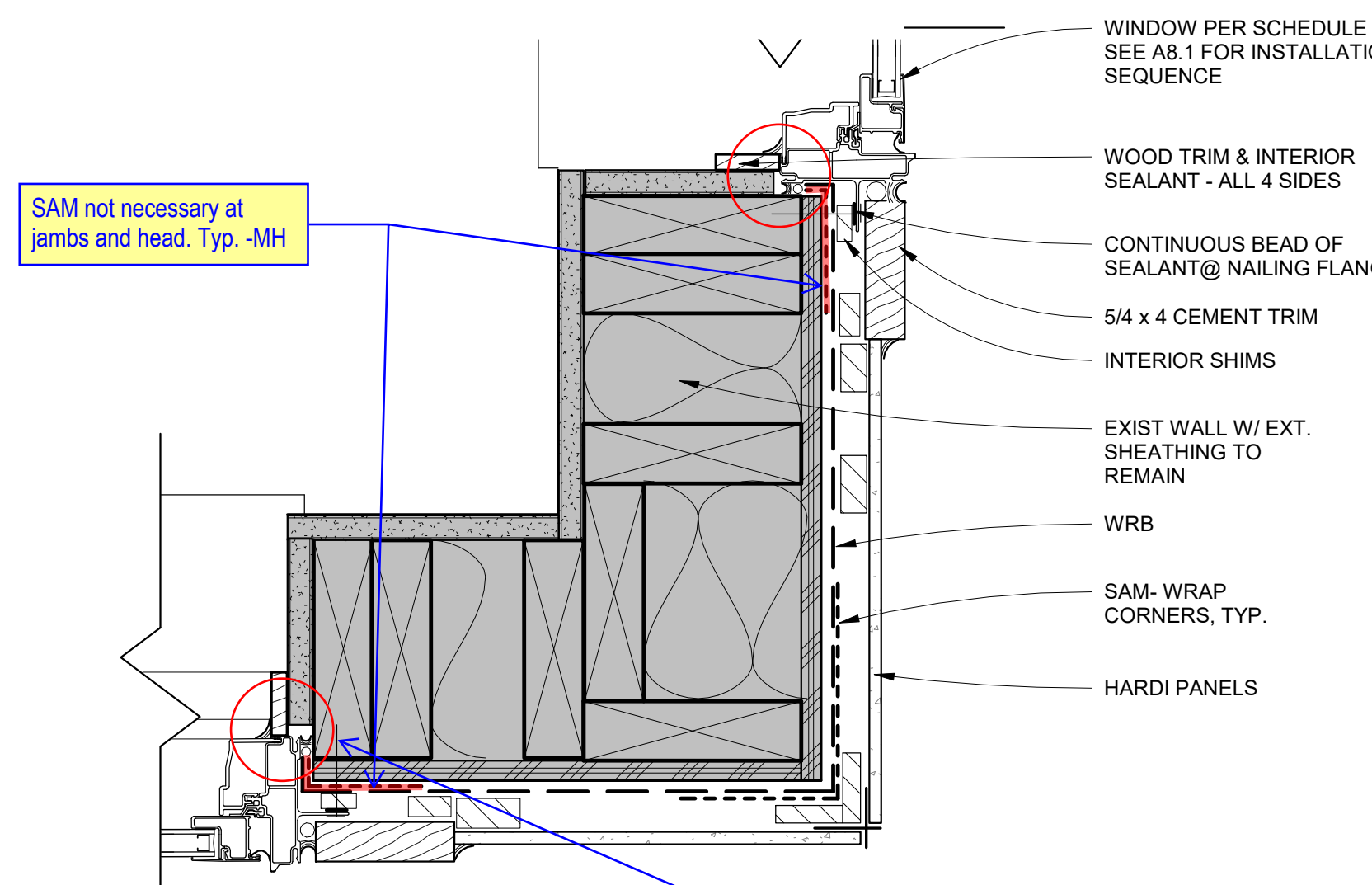
1 PARAPET DETAIL - TYPICAL  
3" = 1'-0"

Consider same detail as detail 2/A8-2 and 10/A8-2 for the through wall flashing. Typ. -MH



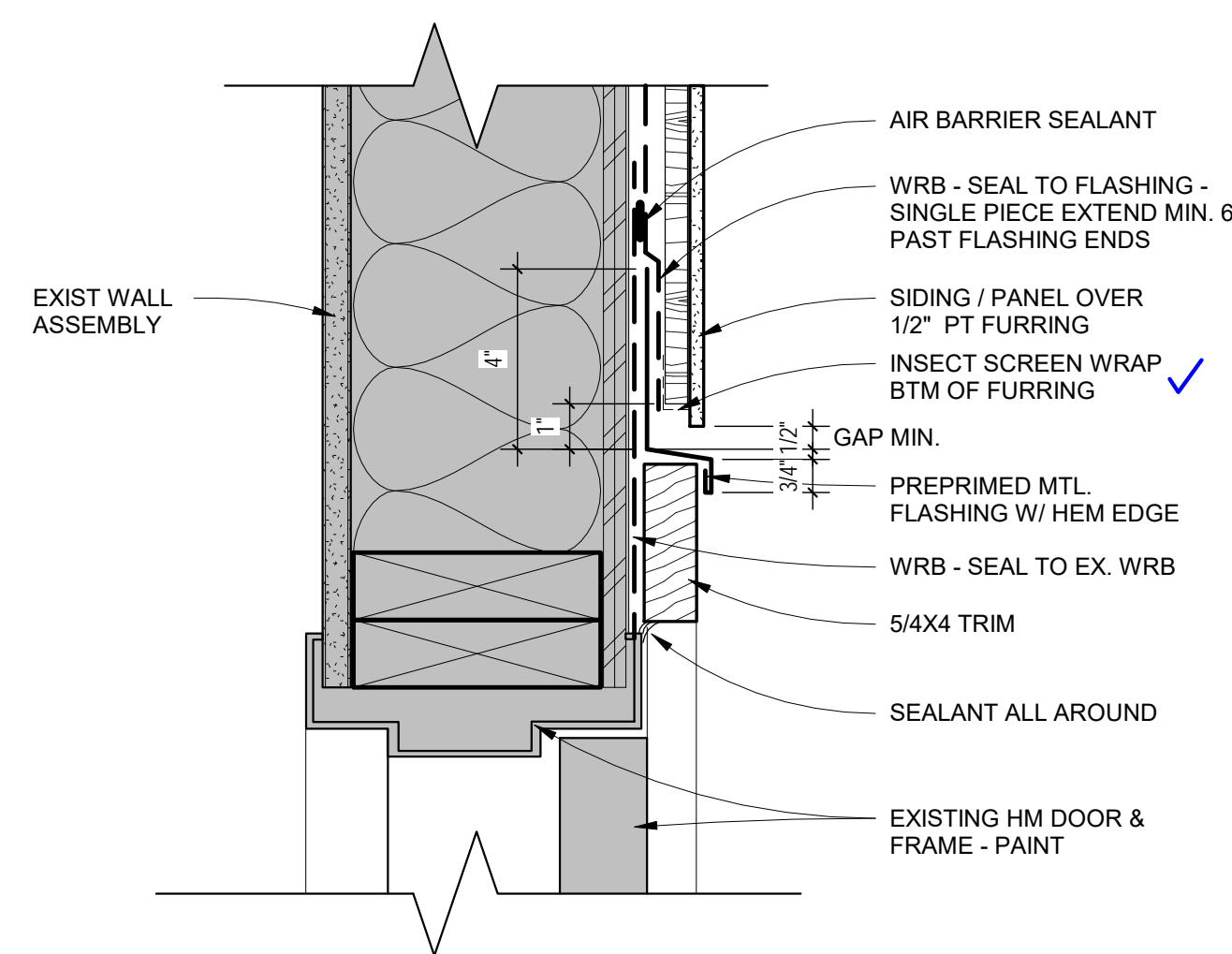
4 SIDING AT TOP OF CONCRETE  
3" = 1'-0"

If exposed concrete wall desired consider applying a vapor permeable waterproof coating to protect concrete against rainwater penetration. Typ. -MH

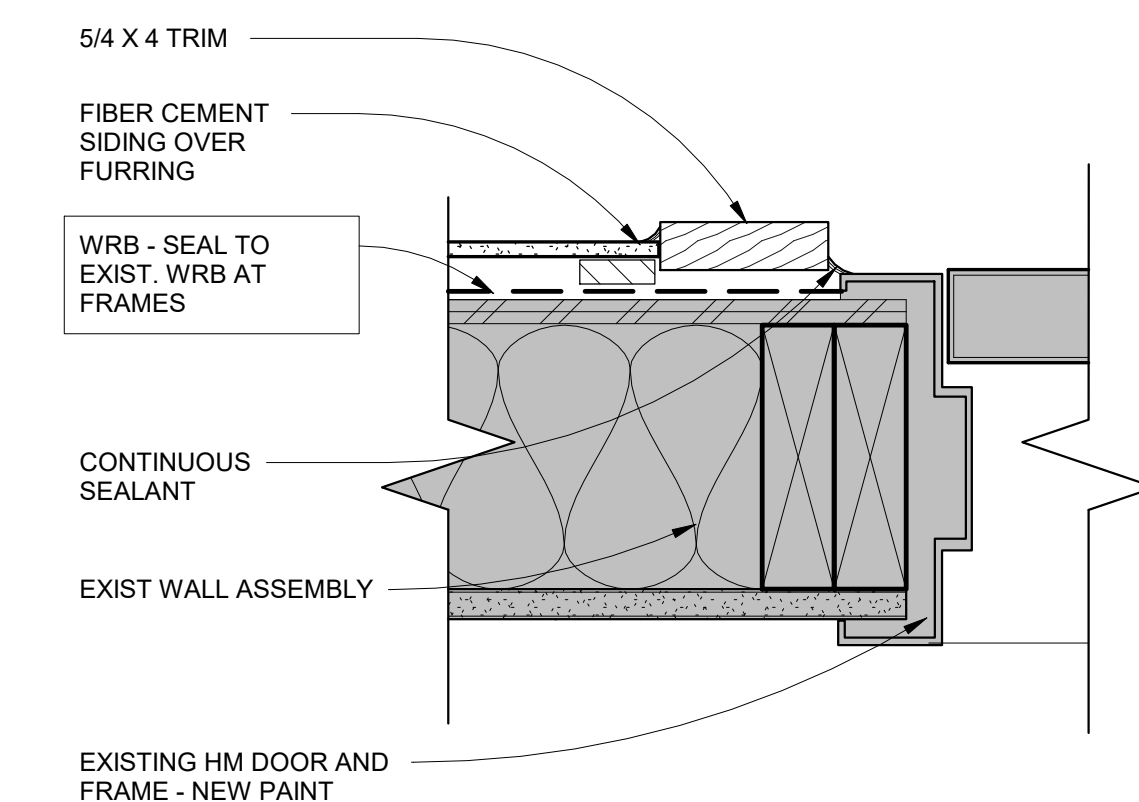


7 OUTSIDE CORNER PANEL DETAIL  
3" = 1'-0"

SAM not necessary at jambs and head. Typ. -MH

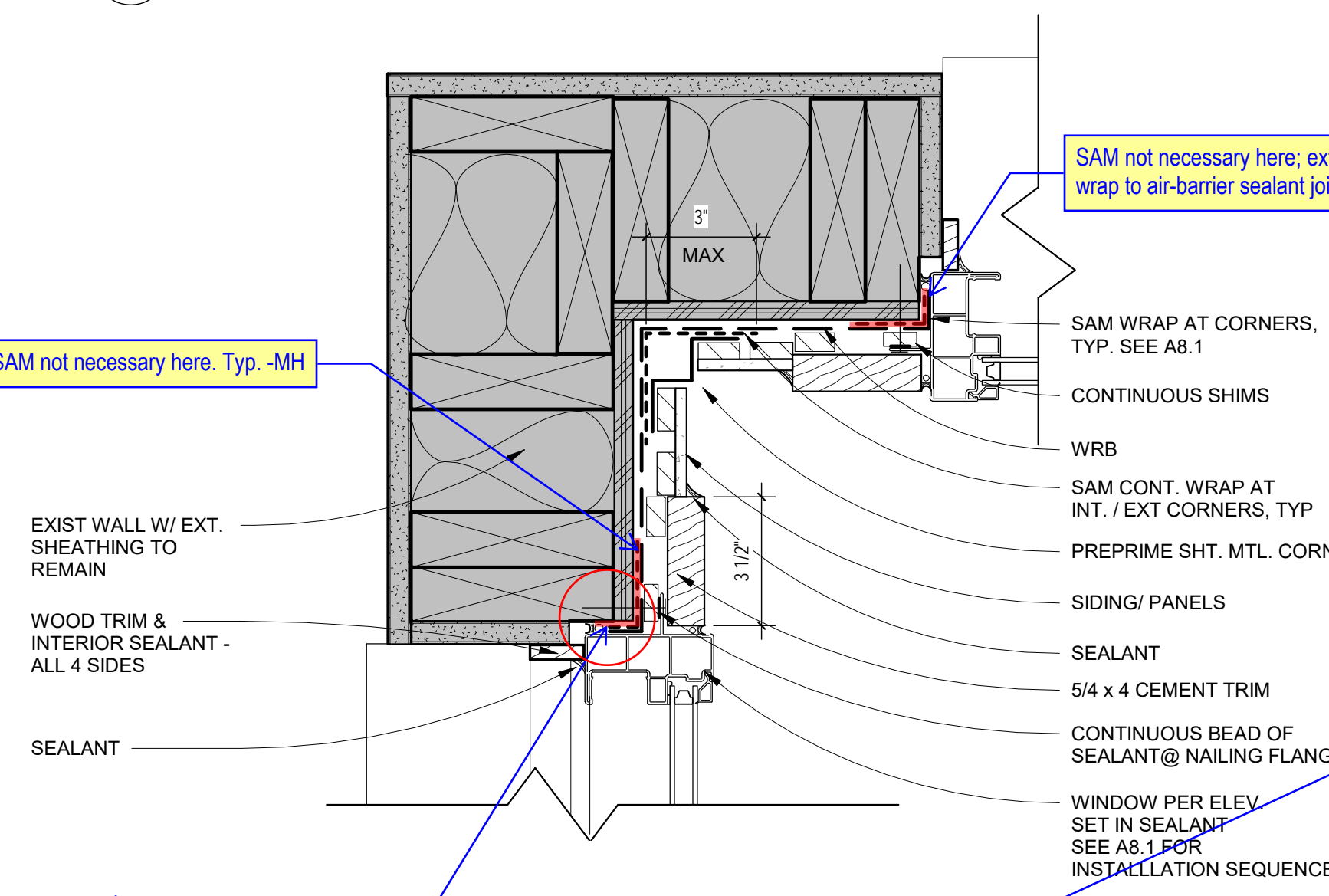


2 DOOR HEAD EXISTING - TYPICAL  
3" = 1'-0"



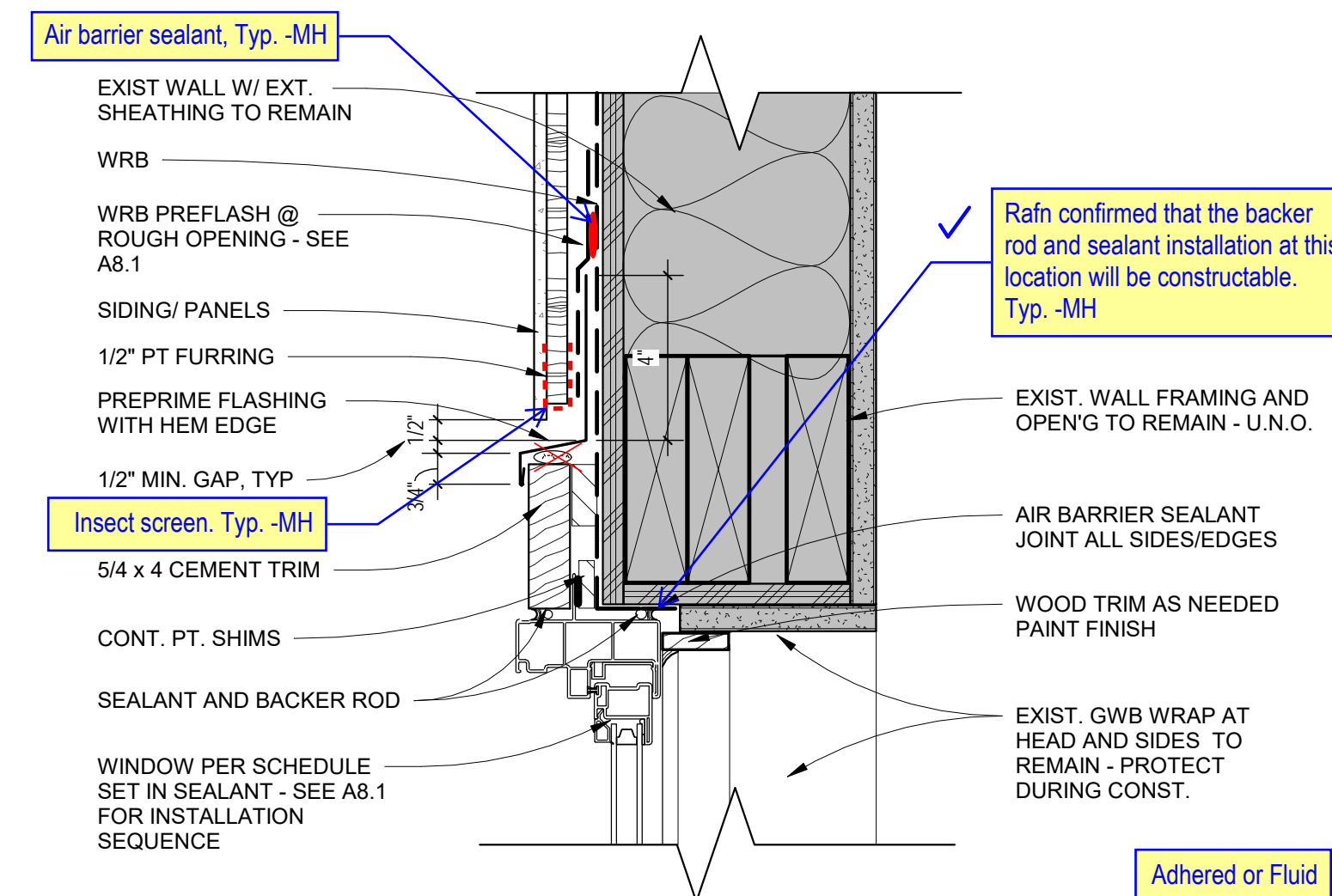
5 DOOR JAMB - TYPICAL  
3" = 1'-0"

SAM not necessary here. Typ. -MH

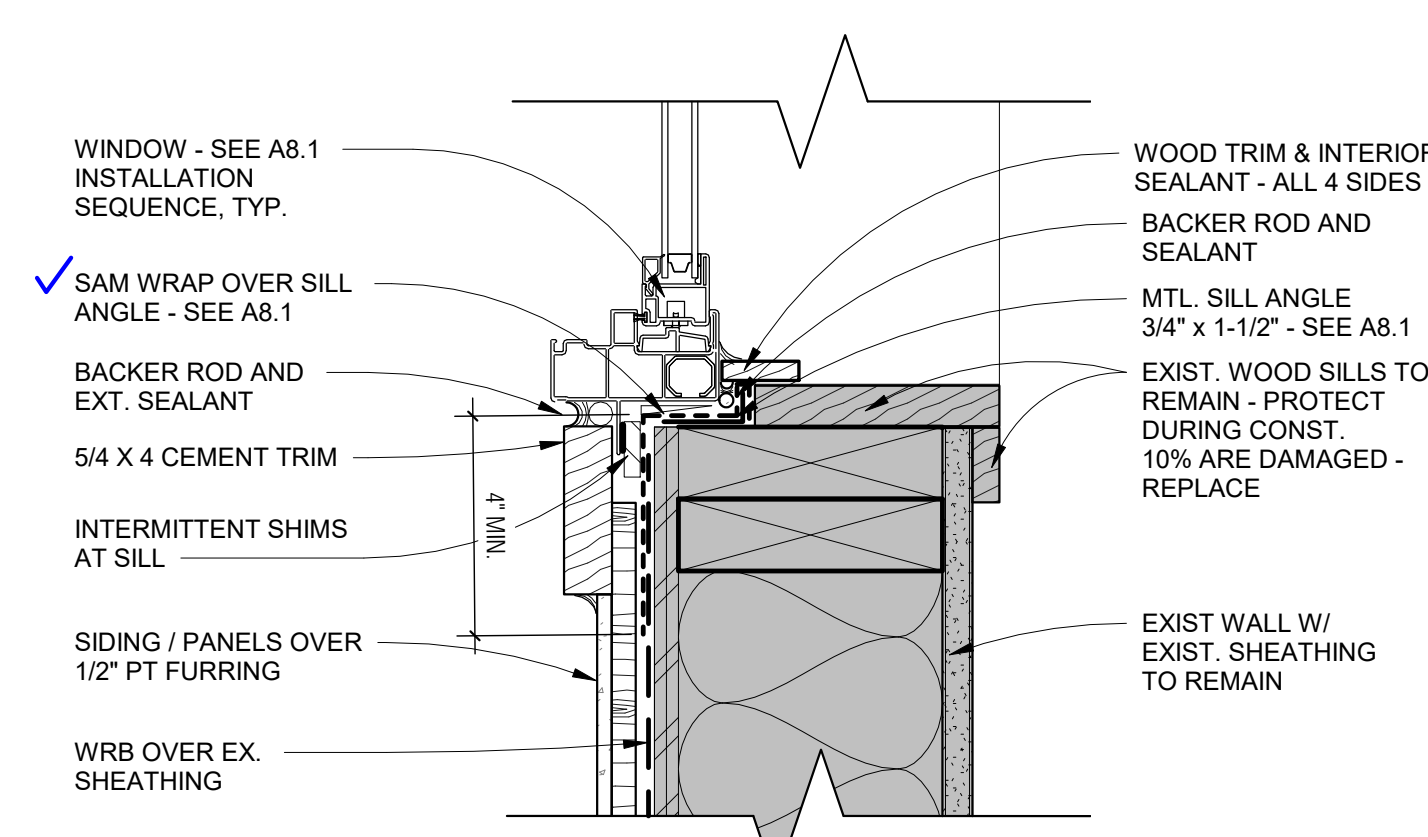


8 INSIDE CORNER DETAIL  
3" = 1'-0"

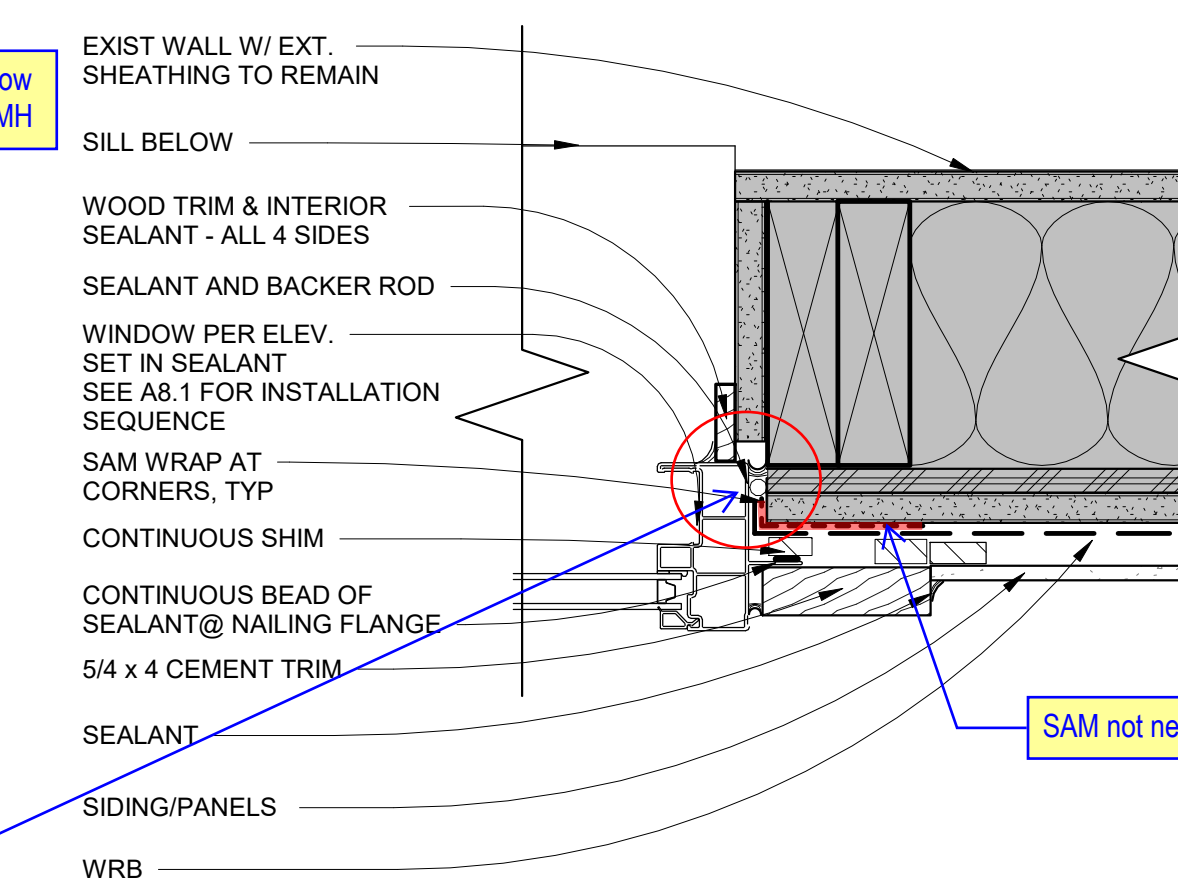
Extend WRB into the interior beyond the window frame, seal window frame to WRB. Typ. -MH



3 WINDOW HEAD TYPICAL DETAIL  
3" = 1'-0"



6 WINDOW SILL TYPICAL DETAIL  
3" = 1'-0"



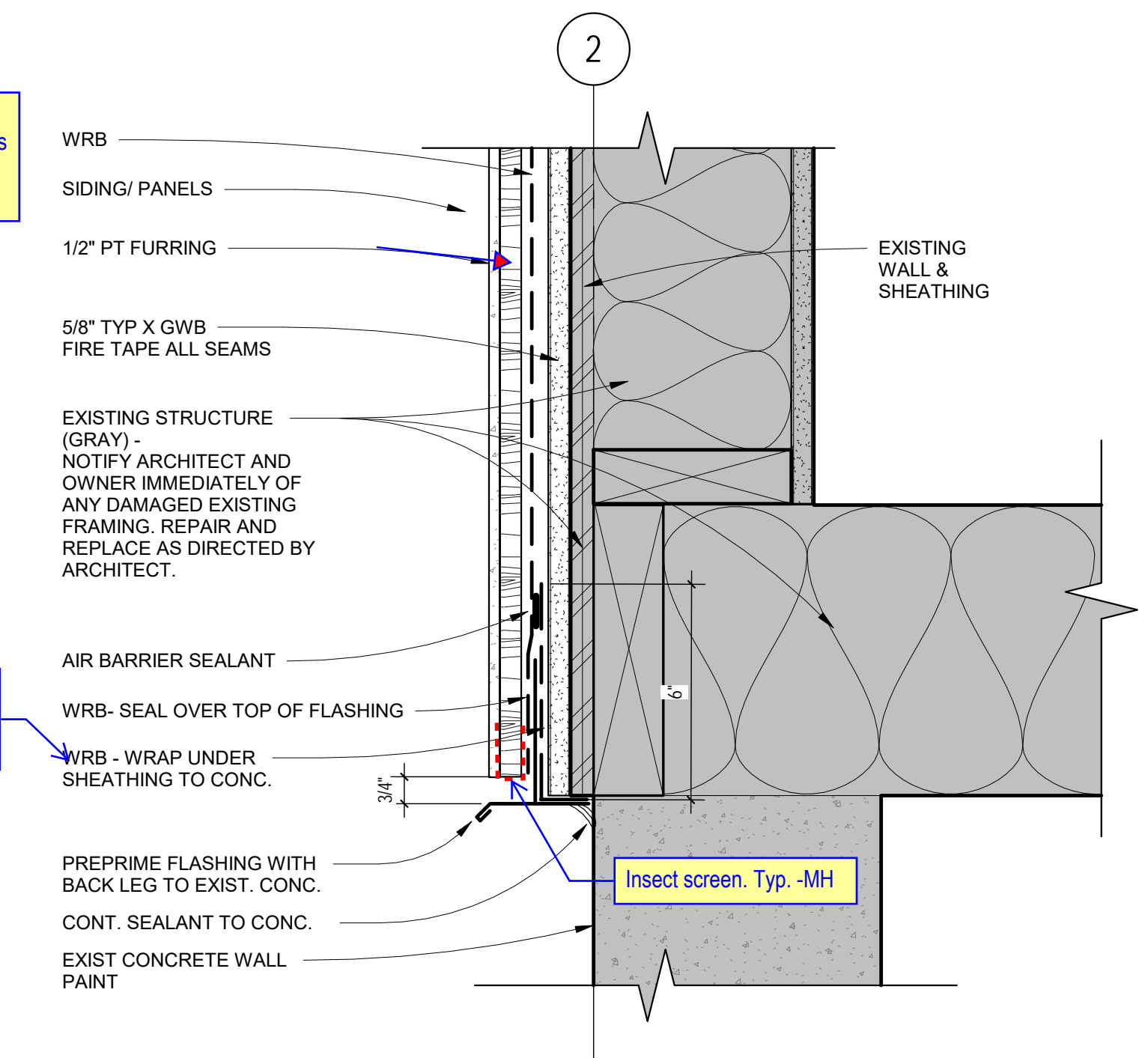
9 WINDOW JAMB TYPICAL DETAIL  
3" = 1'-0"

Adhered or Fluid applied WRB. Typ. -MH

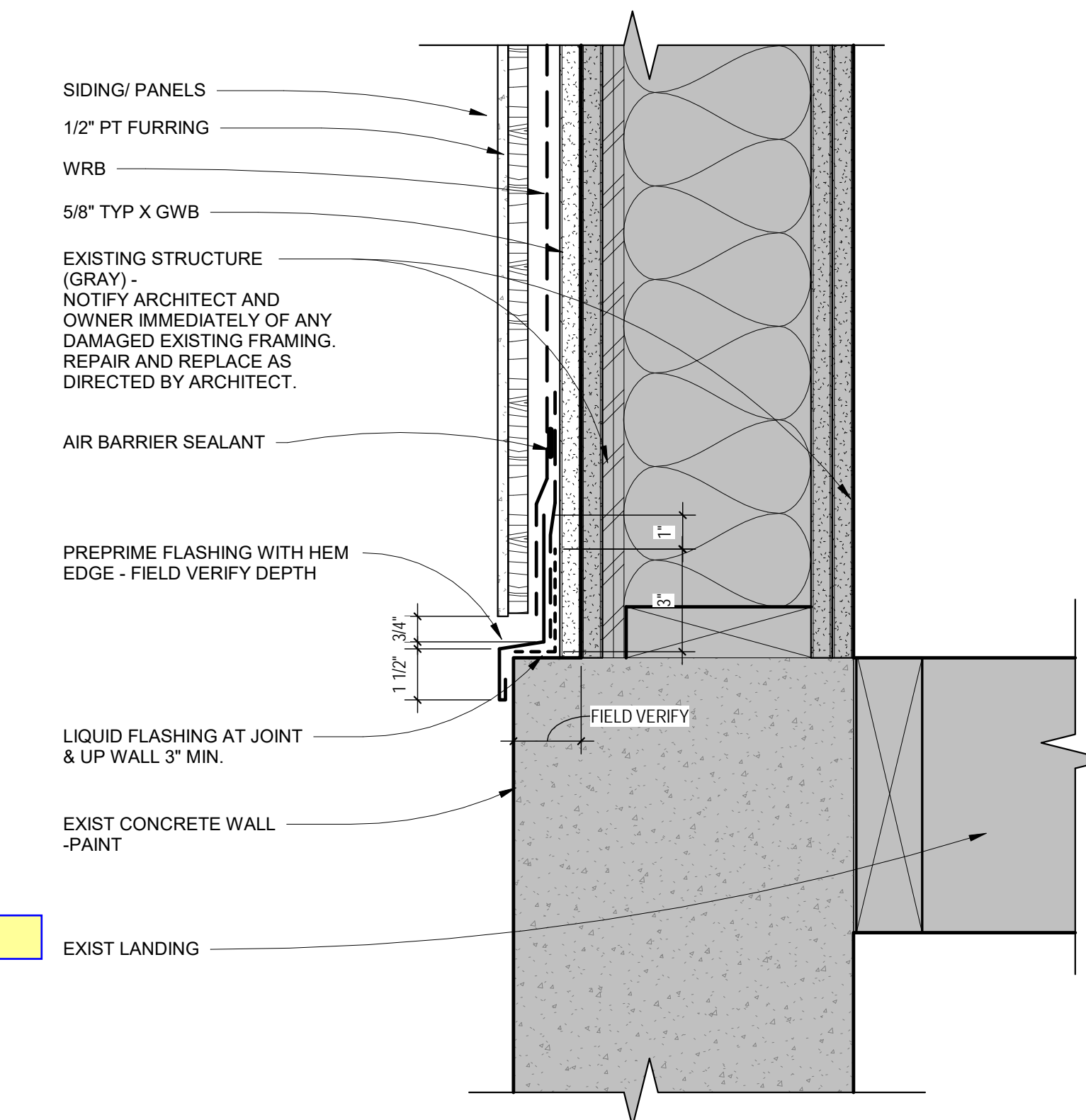
Rain confirmed that the backer rod and sealant installation at this location will be constructable. Typ. -MH

Air barrier sealant. Typ. -MH

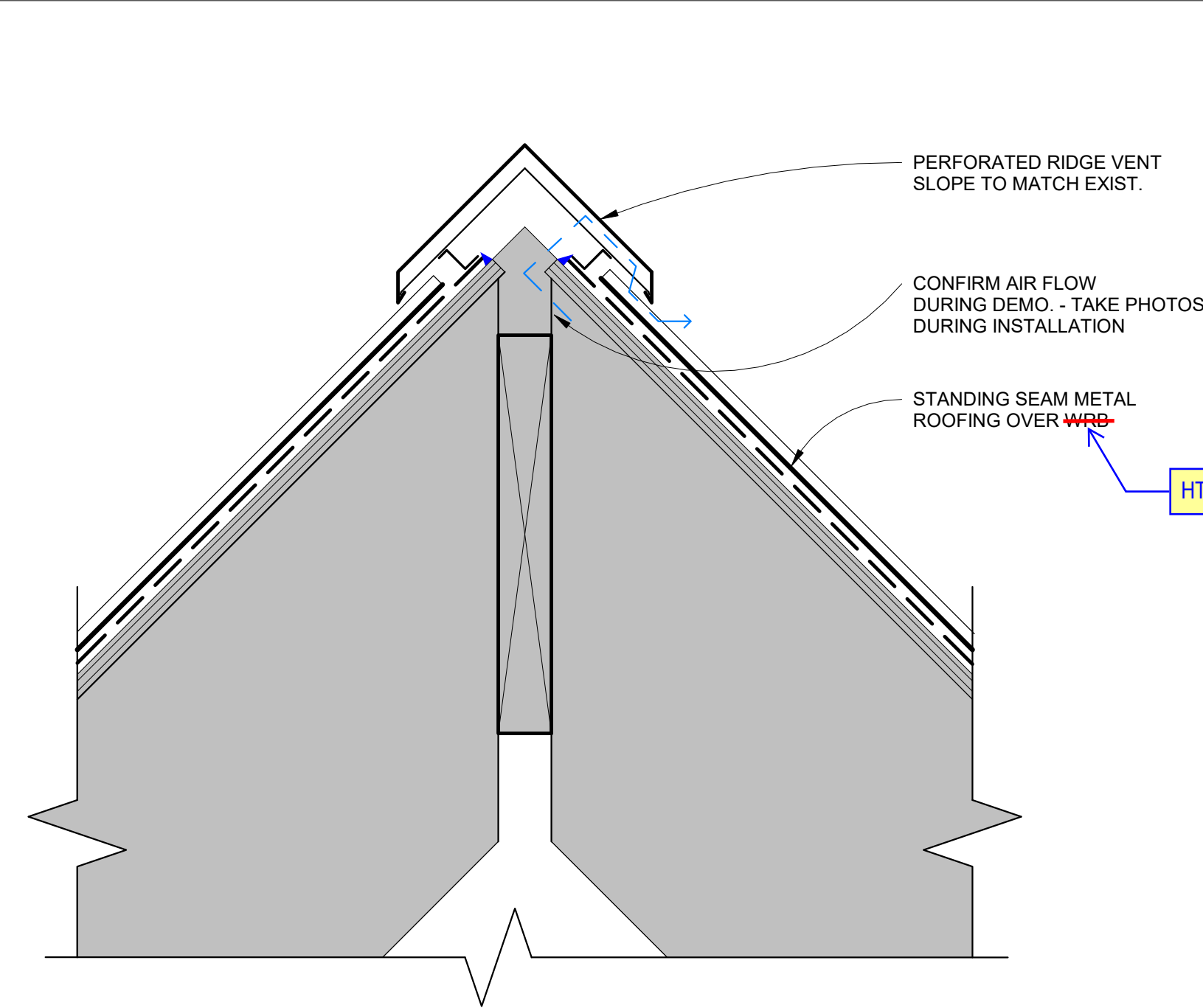
Insect screen. Typ. -MH



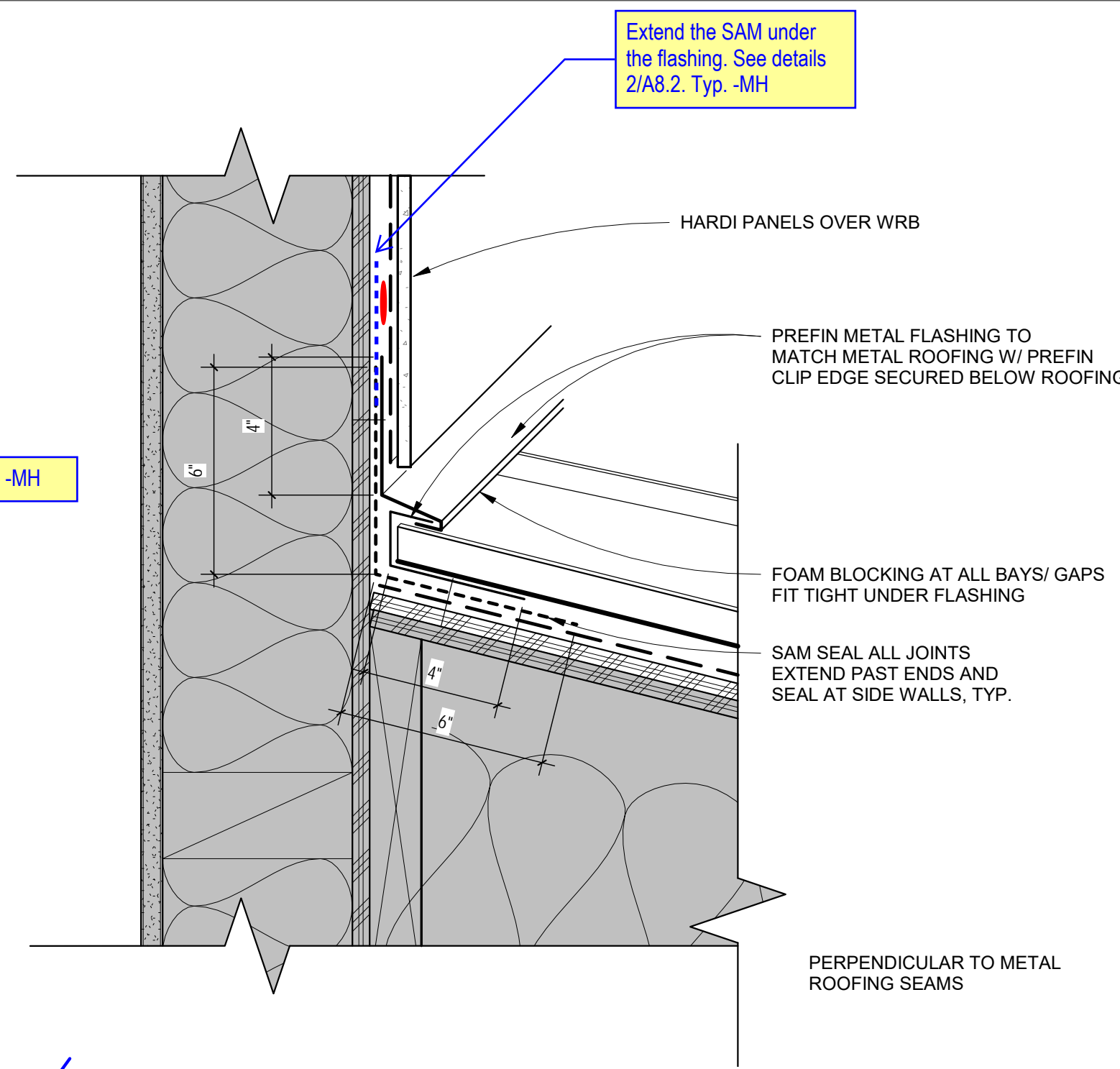
10 BASE DETAIL AT 1-HR STAIR WALL  
3" = 1'-0"



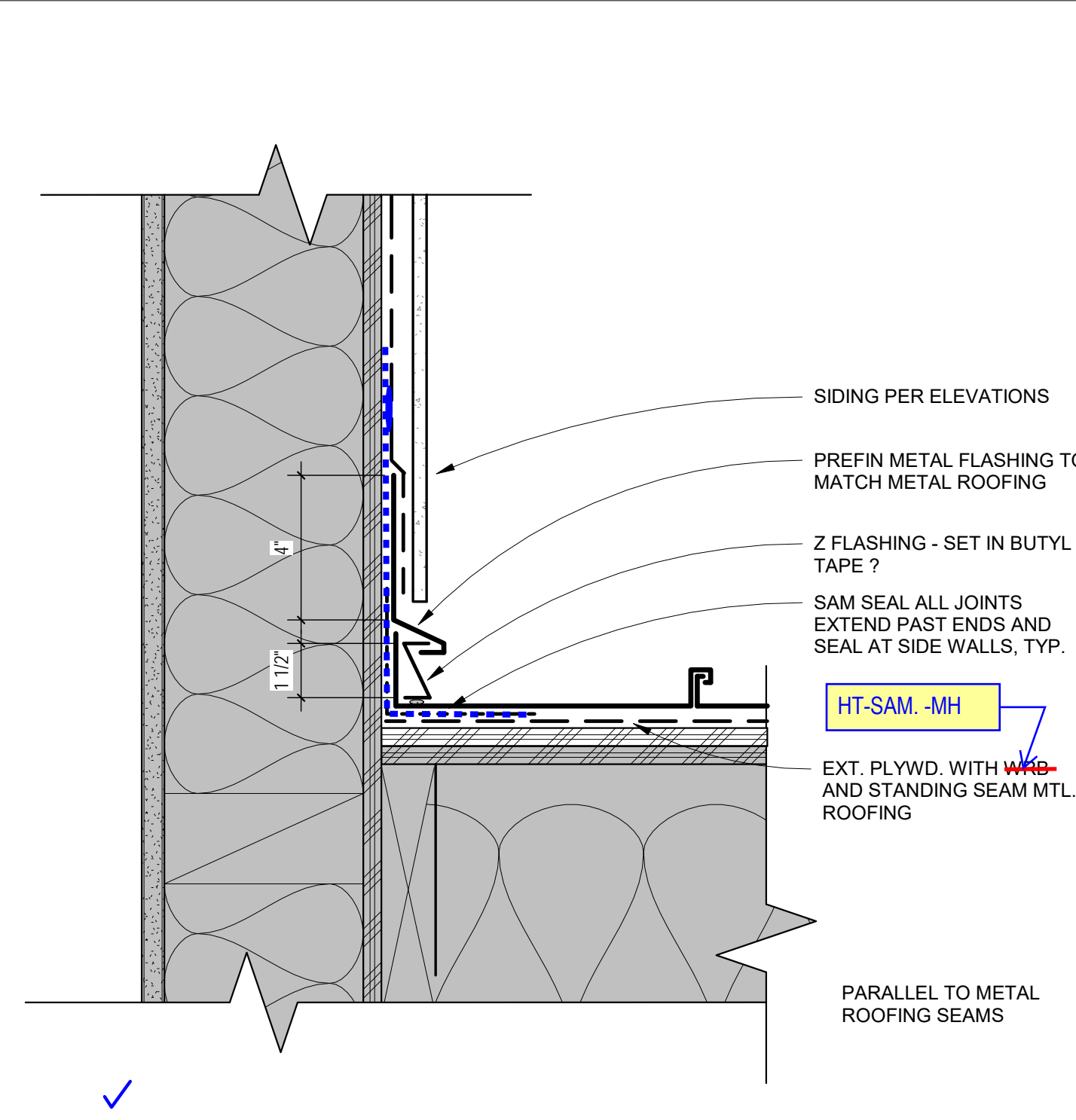
11 BASE DETAIL AT 2-HR WALL @ STAIRS  
3" = 1'-0"



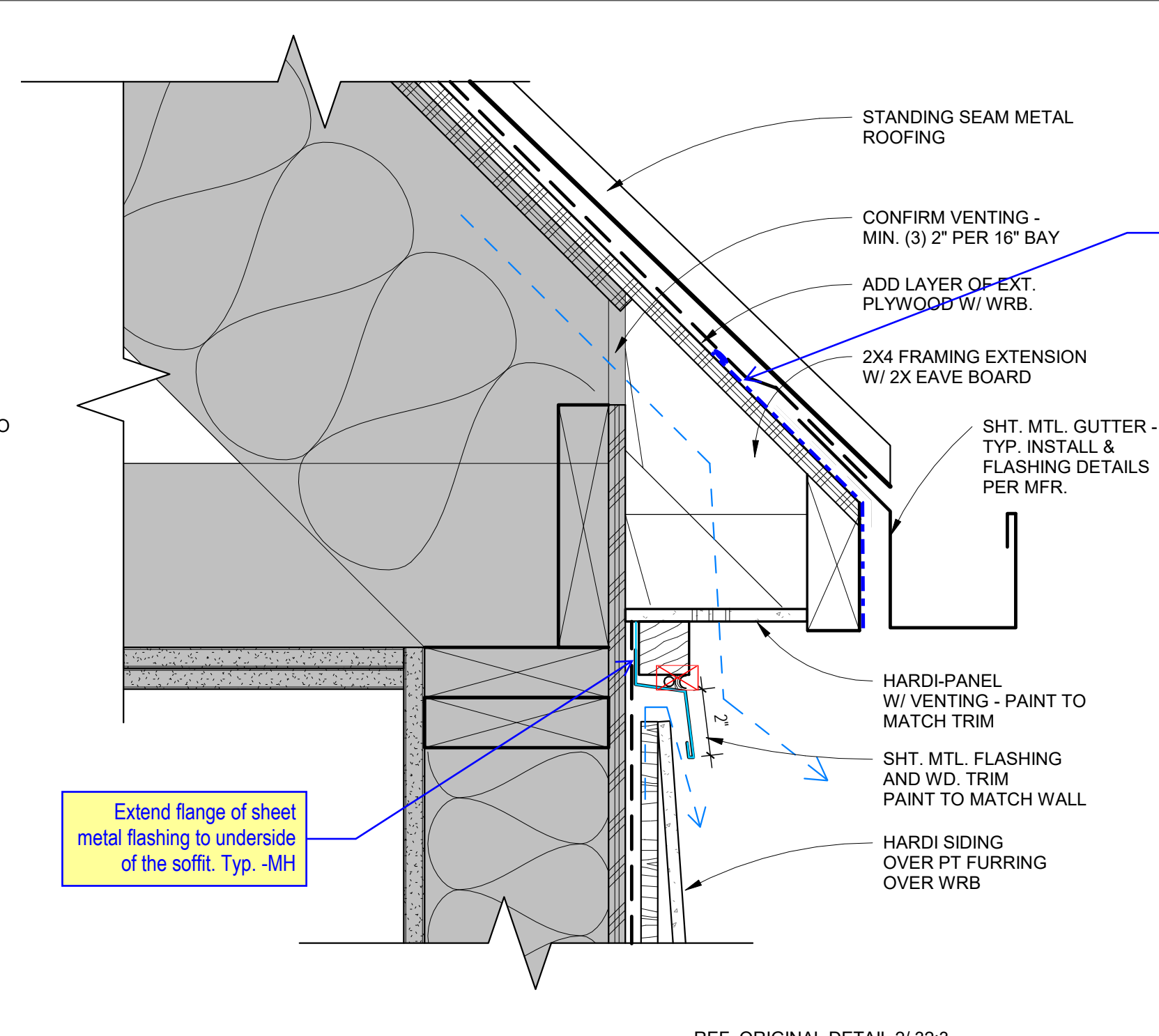
1 TOP OF MTL ROOF  
3" = 1'-0"



2 MTL ROOF AT BASE OF WALL  
3" = 1'-0"

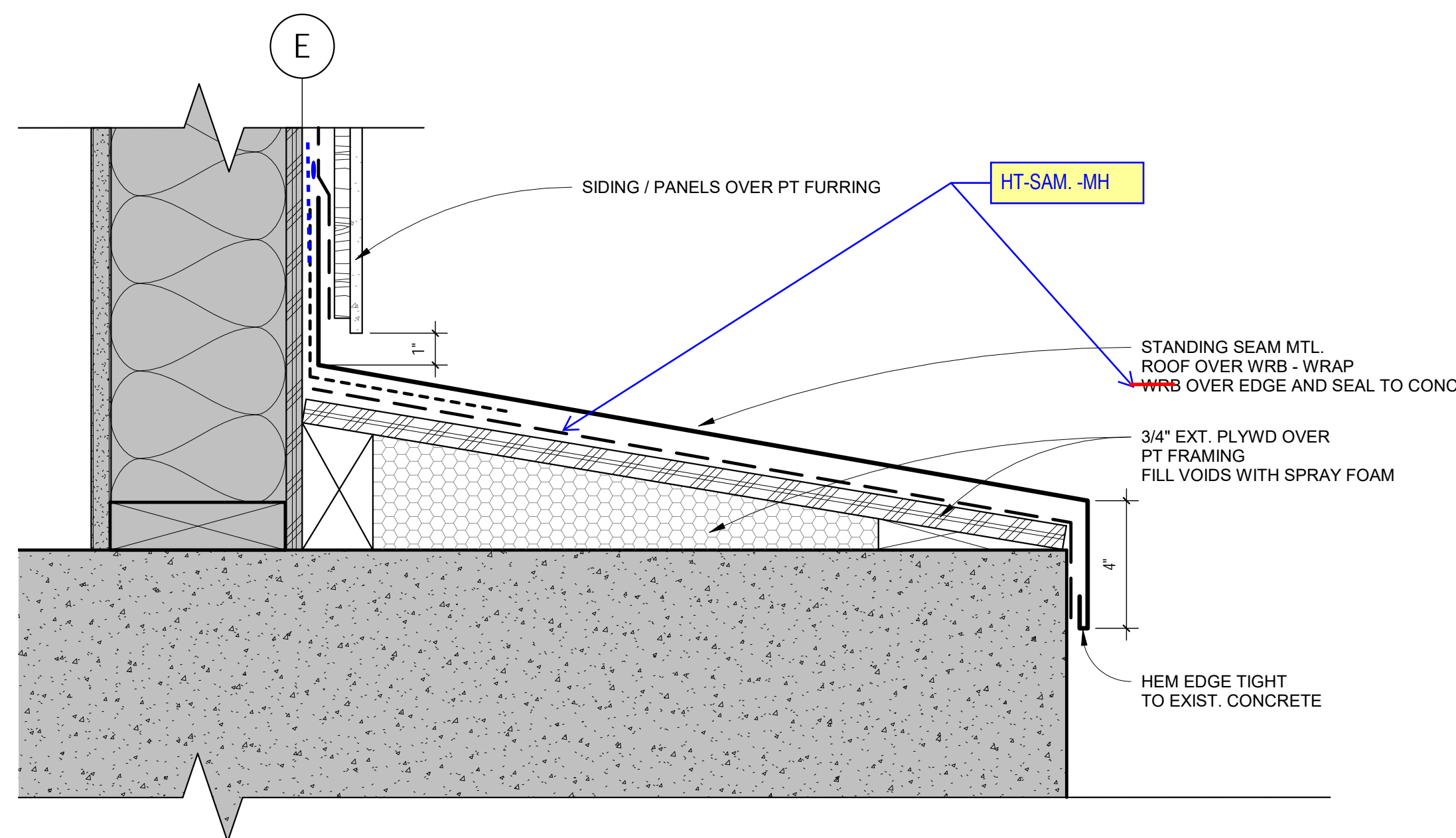


3 MTL ROOF AT SIDE WALL  
3" = 1'-0"



4 MTL ROOF EAVE EDGE  
3" = 1'-0"

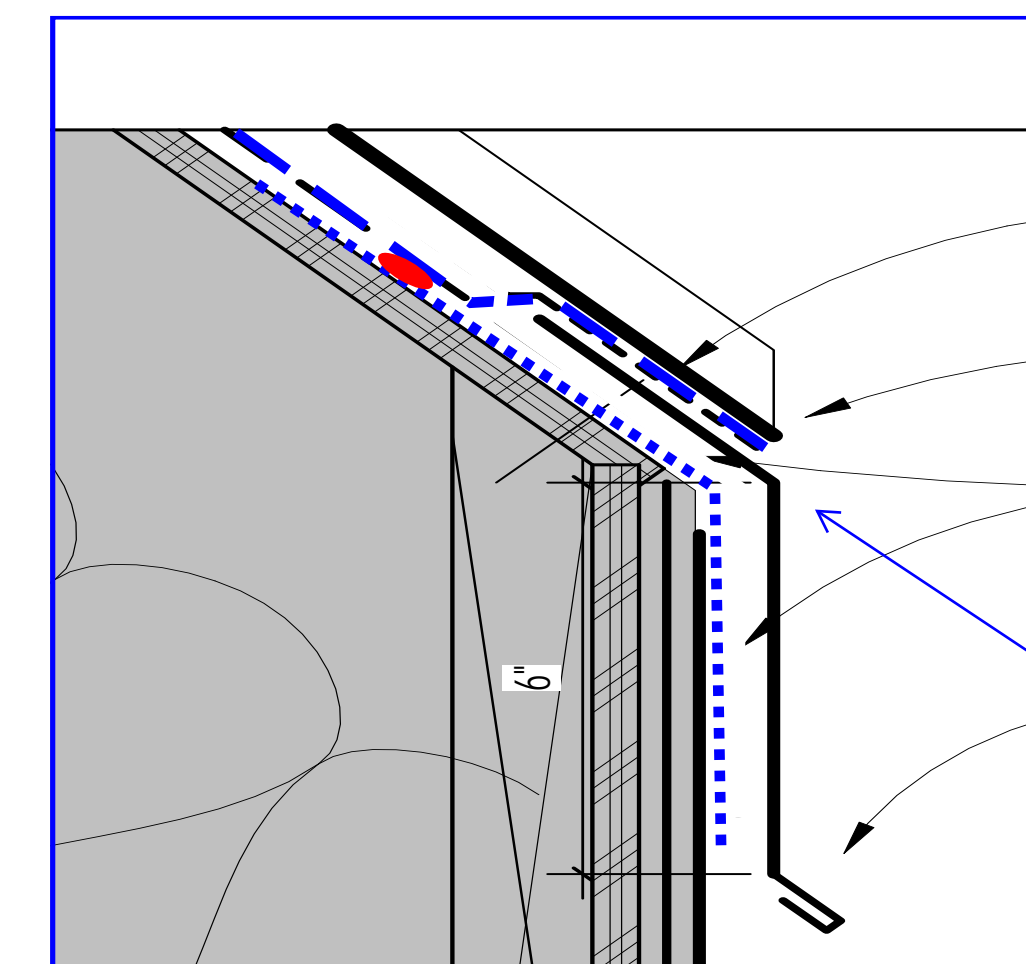
REF. ORIGINAL DETAIL 2/ 32.3



5 MTL ROOFING AT CONCRETE  
3" = 1'-0"

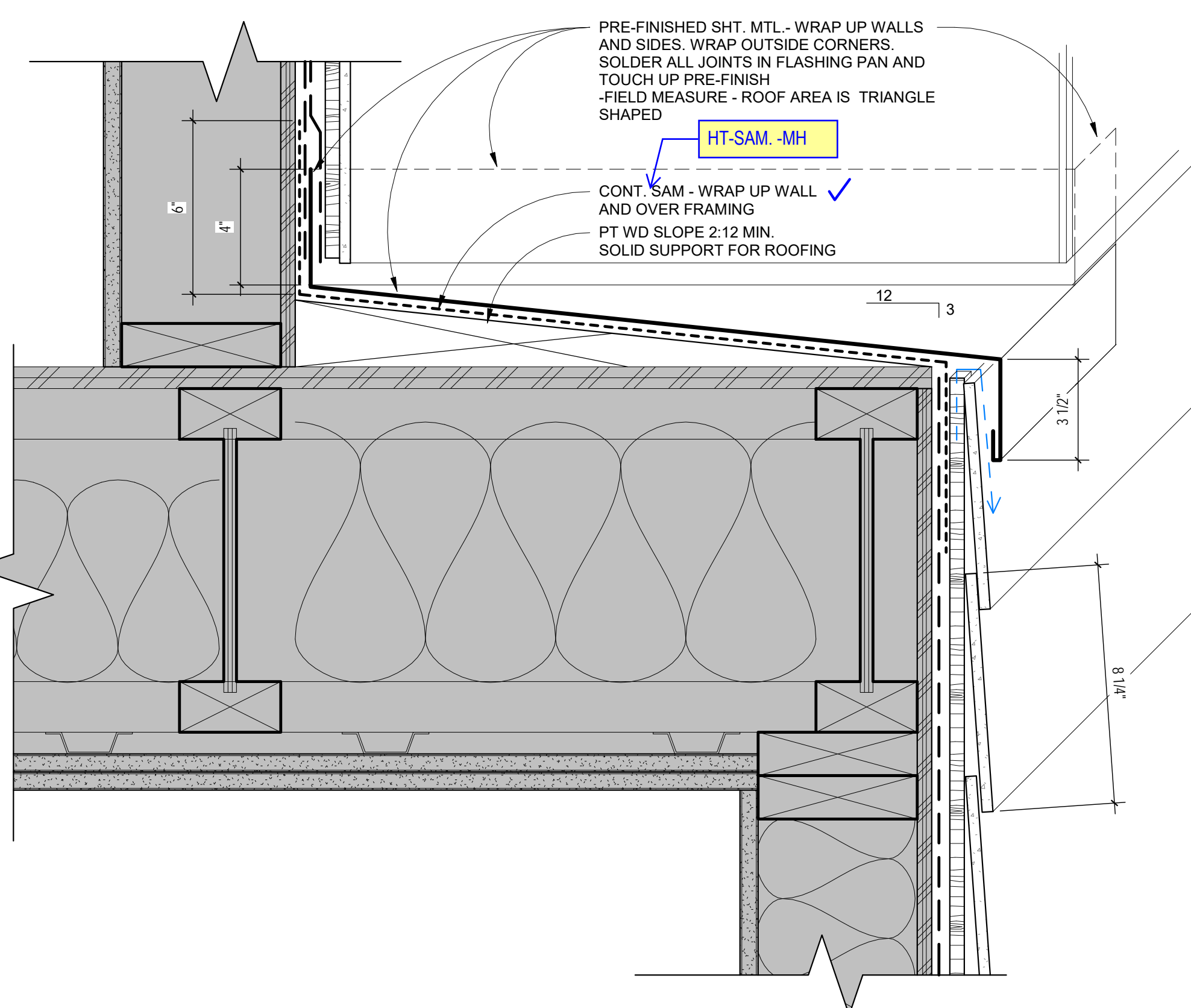
6 SADDLE FLASHING

7 SOFFIT AT ALLEY/ GARAGE

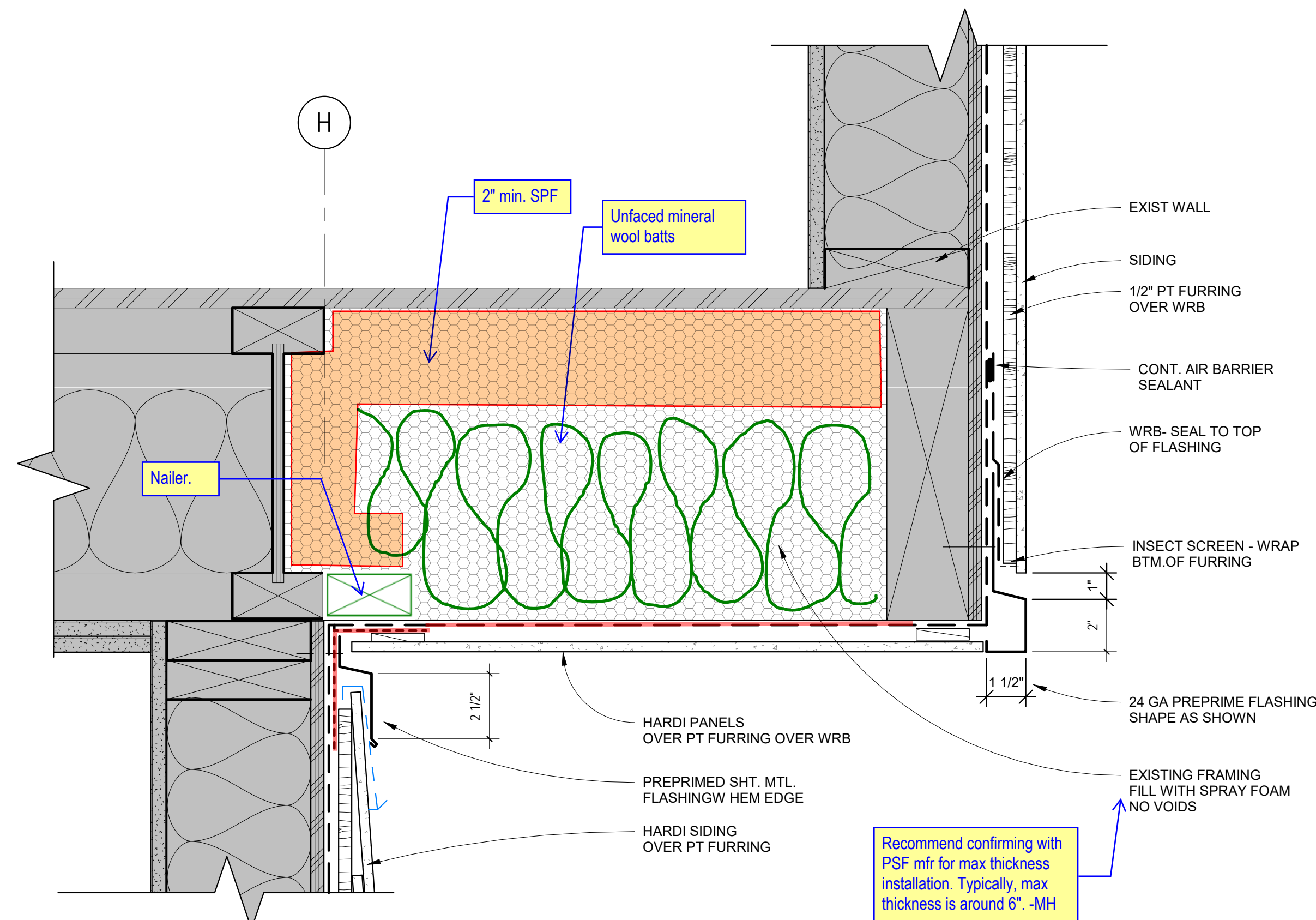


DETAIL

See the sketch for sequencing, Typ. -MH

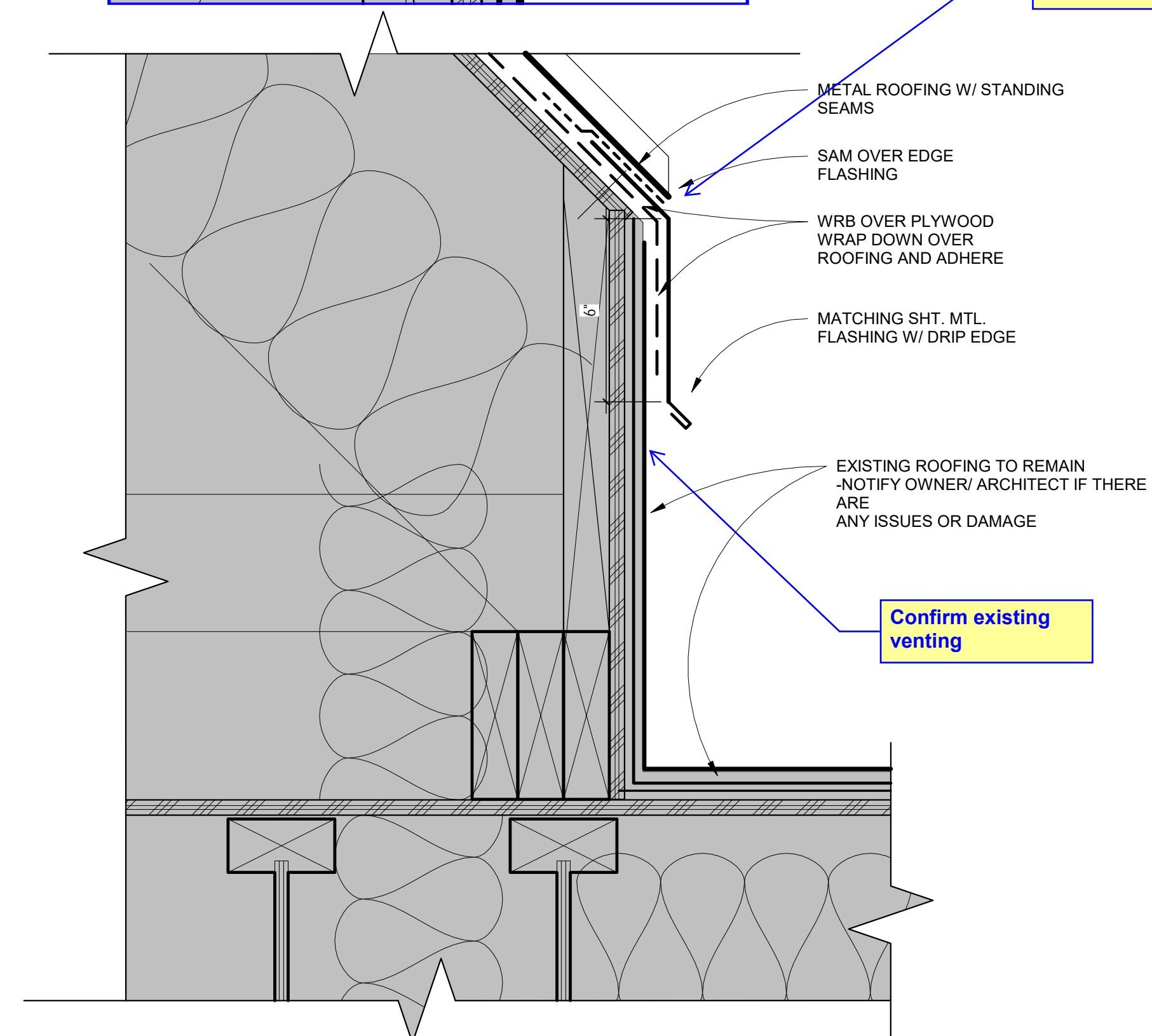


9 FLASHING AT BASE OF RECESS  
3" = 1'-0"



10 SOFFIT AT BAY  
3" = 1'-0"

Recommend confirming with PSF mfr for max thickness installation. Typically, max thickness is around 6". -MH



11 MTL ROOF @ LOW SLOPE ROOF  
3" = 1'-0"

REF. ORIGINAL DETAIL 3/ 32.2

# TERRY APARTMENTS EXTERIOR RECLAD

2020 TERRY AVENUE SEATTLE, WA 98121

90% CHECK SET



ISSUE DATE: OCT. 9, 2020

REVISION SCHEDULE - NO PERMIT  
CLOUDS SHOWN IN BID SET

Rev # Date Description

CONTENTS:  
EXTERIOR DETAILS

SCALE: 3" = 1'-0"  
DRAWN: Author  
CHECKED: Checker  
PROJECT NO: 2019019.000

SHEET:  
A8.3

1 DETAIL AT DRAIN PIPE

2 SIDING AT ENTRY STOREFRONT  
3" = 1'-0"

3 SIDING AT ENTRY SOFFIT  
3" = 1'-0"

5 OUTSIDE CORNER DETAIL @ ENTRY  
3" = 1'-0"

6 SIDING 2 TOP OF WALL DETAIL

7 SIDING 2 BASE DETAIL

8 TYP. RECPT. / LIGHT BOX DETAIL

9 SIDING DETAIL AT WINDOW CORNER  
3" = 1'-0"

10 CORNER TRIM AT SIDING  
3" = 1'-0"

11 EXHAUST HOOD VENTS  
3" = 1'-0"

