

General Notes:

1.

PERFORM WORK SHOWN ON DRAWINGS IN ACCORDANCE WITH THE PROJECT MANUAL AND ALL LOCAL, STATE, AND FEDERAL CODES AND REGULATIONS.
2.

SPECIFICATIONS AND DRAWINGS SHALL BE COMPLIMENTARY TO EACH OTHER. NEITHER THE DRAWINGS NOR SPECIFICATIONS SHALL TAKE PRECEDENCE OVER THE OTHER. IF CONFLICTS ARISE BETWEEN REQUIREMENTS OF THE SPECIFICATIONS AND DRAWINGS, THE MORE STRINGENT, OR MORE COSTLY REQUIREMENTS SHALL GOVERN.
3.

DETAILS FOR WORK ARE BASED ON APPROXIMATED CONDITIONS AND DIMENSIONS SHOWN ON ORIGINAL BUILDING DRAWINGS, AND ENGINEER'S LIMITED REVIEW OF THE AREAS TO BE REPAIRED. ALL EXISTING CONDITIONS AND DIMENSIONS SHALL BE VERIFIED PRIOR TO SUBMISSION OF BIDS AND FABRICATION OF ANY MATERIALS. NOTIFY ENGINEER IMMEDIATELY IF EXISTING CONDITIONS ARE DIFFERENT FROM THOSE SHOWN ON DRAWINGS.
4.

MAINTAIN ALL BUILDING ENTRANCES AND EXITS OPEN DURING CONSTRUCTION.
5.

ENSURE PROTECTION OF PUBLIC AND ADJACENT PROPERTIES.
6.

THE DESIGN AND DETAILS SHOWN ON THESE DRAWINGS ARE INTENDED TO COMPLY WITH THE REQUIREMENTS OF THE 2019 EDITION OF THE CHICAGO BUILDING CODE.
7.

REFERENCED CODES, STANDARDS, AND SPECIFICATIONS REFER TO THE LATEST EDITIONS, UNLESS NOTED OTHERWISE.
8.

IN ADDITION TO THE REQUIREMENTS OF THE SPECIFICATIONS, INSTALL PROPRIETARY MATERIALS IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS. IF THERE ARE ANY DISCREPANCIES BETWEEN THE MANUFACTURER'S WRITTEN INSTRUCTIONS AND THE SPECIFICATIONS, NOTIFY ENGINEER PRIOR TO INSTALLATION.
9.

OBTAIN ALL PERMITS REQUIRED FOR WORK SHOWN, PRIOR TO START OF WORK.
10.

CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ALL SHORING, SCAFFOLDING, BRACING, FALSEWORK, AND ANY OTHER PLATFORMS OR DEVICES TO COMPLETE THE WORK SHOWN. A LICENSED STRUCTURAL ENGINEER RETAINED AND PAID FOR BY CONTRACTOR SHALL DESIGN ANY SUCH EQUIPMENT THAT WILL IMPART LOADS TO THE BUILDING. STAMPED CALCULATIONS SHALL BE PROVIDED TO THE ENGINEER FOR THIS PROJECT, SHOWING EXISTING STRUCTURE IS CAPABLE OF SUPPORTING IMPARTED LOADS. THE CONTRACTOR IS ALSO RESPONSIBLE FOR PROCURING ANY AND ALL BUILDING PERMITS REQUIRED FOR SUCH EQUIPMENT AND MATERIALS.
11.

PROVIDE DUST AND WATER LEAKAGE CONTROL FOR INTERIOR AREAS OF THE BUILDING THROUGHOUT THE COURSE OF THE PROJECT.
12.

DO NOT COVER OR CONCEAL CONSTRUCTION THAT IS TO BE REVIEWED BY ENGINEER. NOTIFY ENGINEER AT LEAST 2 WORKING DAYS IN ADVANCE OF ANY REQUIRED REVIEWS.
13.

DO NOT SCALE DIMENSIONS OFF DRAWINGS.

Scope of Work:

- A.

BASE BID INCLUDES, BUT IS NOT NECESSARILY LIMITED TO, THE FOLLOWING:
1.

PROVIDE GENERAL CONDITIONS INCLUDING SUPERVISION, PROJECT MANAGEMENT, COORDINATION WITH OWNER, PRECONSTRUCTION SURVEYS, INSURANCE, ATTENDANCE AT MEETINGS, TEMPORARY FACILITIES AND CONTROLS (I.E., PROTECTION, SAFETY PROVISIONS INCLUDING OVERHEAD CANOPIES, FIELD OFFICE, PORTABLE TOILETS, TRAFFIC CONTROL, TEMPORARY RAMPS, FENCING, TEMPORARY LIGHTING, TEMPORARY POWER, ACCESS TO WORK AREAS, EQUIPMENT, TEMPORARY ENCLOSURES AND WEATHER PROTECTION, TEMPORARY HEATING AND VENTILATION FOR WORK AREAS INCLUDING GAS/ELECTRICAL POWER, DAILY CLEAN-UP, ETC.), PERMITS, INSPECTION FEES REQUIRED BY AUTHORITIES HAVING JURISDICTION AND MANUFACTURERS, QUALITY CONTROL TESTING REQUIRED BY SPECIFICATIONS, DEBRIS REMOVAL AND DISPOSAL, TRANSPORTATION, ETC. COSTS ASSOCIATED WITH ACCESS TO WORK AREAS, INCLUDING SCAFFOLDING, SHALL BE INCLUDED IN UNIT COSTS OR LUMP SUM COSTS FOR INDIVIDUAL WORK ITEMS LISTED BELOW.
2.

MOBILIZE TO SITE.
3.

DEMOLITION:
- a.

PROVIDE BARRICADES, SIGNAGE AND PROTECTION TO ISOLATE ALL DEMOLITION AND WORK AREAS, AS NECESSARY.
- b.

PROVIDE TEMPORARY PROTECTION TO PROTECT EXISTING CONSTRUCTION AND ADJACENT CONSTRUCTION FROM DAMAGE DURING DEMOLITION AND CONSTRUCTION.
- c.

REMOVE EXISTING COURTYARD FINISHES INCLUDING, BUT NOT NECESSARILY LIMITED TO LANDSCAPING, SOIL, PLANTER WALLS, FURNITURE, EXISTING CONCRETE TOPPING, AND OTHER COURTYARD ASSEMBLY COMPONENTS. THE DEMOLITION SHALL INCLUDE ALL ITEMS NECESSARY TO EXPOSE THE EXISTING WATERPROOFING MEMBRANE AND EXISTING STRUCTURAL SLAB.
- d.

COORDINATE WITH ASSOCIATION AND ASSOCIATION'S LANDSCAPER FOR ITEMS TO BE REMOVED AND REINSTALLED.
4.

MASONRY REPAIRS
- a.

ALONG THE BASE OF LOW-RISE BUILDING MASONRY WALLS, ALONG THE PERIMETER OF THE COURTYARD AND IN THE BREEZEWAY, REMOVE BOTTOM COURSES OF EXISTING MASONRY AND PERFORM THROUGH-WALL FLASHING REPAIRS, AS SHOWN ON DRAWINGS.
- b.

REMOVE, MODIFY, AND REINSTALL EXISTING STONE PANELS AT MASONRY PIERS AT LOW-RISE BUILDING, AS SHOWN ON DRAWINGS.
- c.

AT HIGH-RISE BUILDING ENTRANCE STAIRS/RAMP, PERFORM THE FOLLOWING MASONRY REPAIRS:
- a)

THROUGH-WALL FLASHING BELOW COPINGS;
- ii)

BRICK MASONRY REPOINTING;
- iii)

MISCELLANEOUS BRICK REPLACEMENT WHERE DESIGNATED BY ENGINEER.
5.

COURTYARD WATERPROOFING:
- a.

AFTER REMOVAL OF THE EXISTING COURTYARD FINISHES, PERFORM A SURVEY OF THE EXISTING SLAB SURFACES AS FOLLOWS:
- i)

LOCATE ALL EXISTING DRAINS.
- ii)

MEASURE SLAB TOP ELEVATIONS AT A 4-FOOT GRID TO DETERMINE EXISTING SLAB TOP ELEVATIONS.
- iii)

PROVIDE THE ABOVE INFORMATION WITHIN 48 HOURS OF PERFORMING THE WORK, AND PRIOR TO REMOVAL OF THE EXISTING WATERPROOFING MEMBRANE.
- b.

REMOVE EXISTING WATERPROOFING MEMBRANE USING SUITABLE METHODS. SUCH REMOVAL METHODS SHALL RESULT IN A CLEAN AND SMOOTH SUBSTRATE AND NOT IMPART ANY DAMAGE TO THE EXISTING CONCRETE. ONLY WELL-BONDED AND SOUND EXISTING WATERPROOFING SHALL REMAIN SO LONG AS THE SUBSTRATE FOR NEW MEMBRANE IS SMOOTH. REMOVAL METHODS SHALL CONSIDER NOISE AND DISRUPTION TO TENANTS BELOW AND ADJACENT TO WORK AREAS.
- c.

AFTER REMOVAL OF EXISTING WATERPROOFING MEMBRANE, SOUND EXISTING STRUCTURAL SLAB TOP SURFACES USING CHAIN DRAG OR HAMMER SOUNDING TO DETECT DELAMINATED CONCRETE. REPAIR DELAMINATED AND/OR UNSOUND CONCRETE.

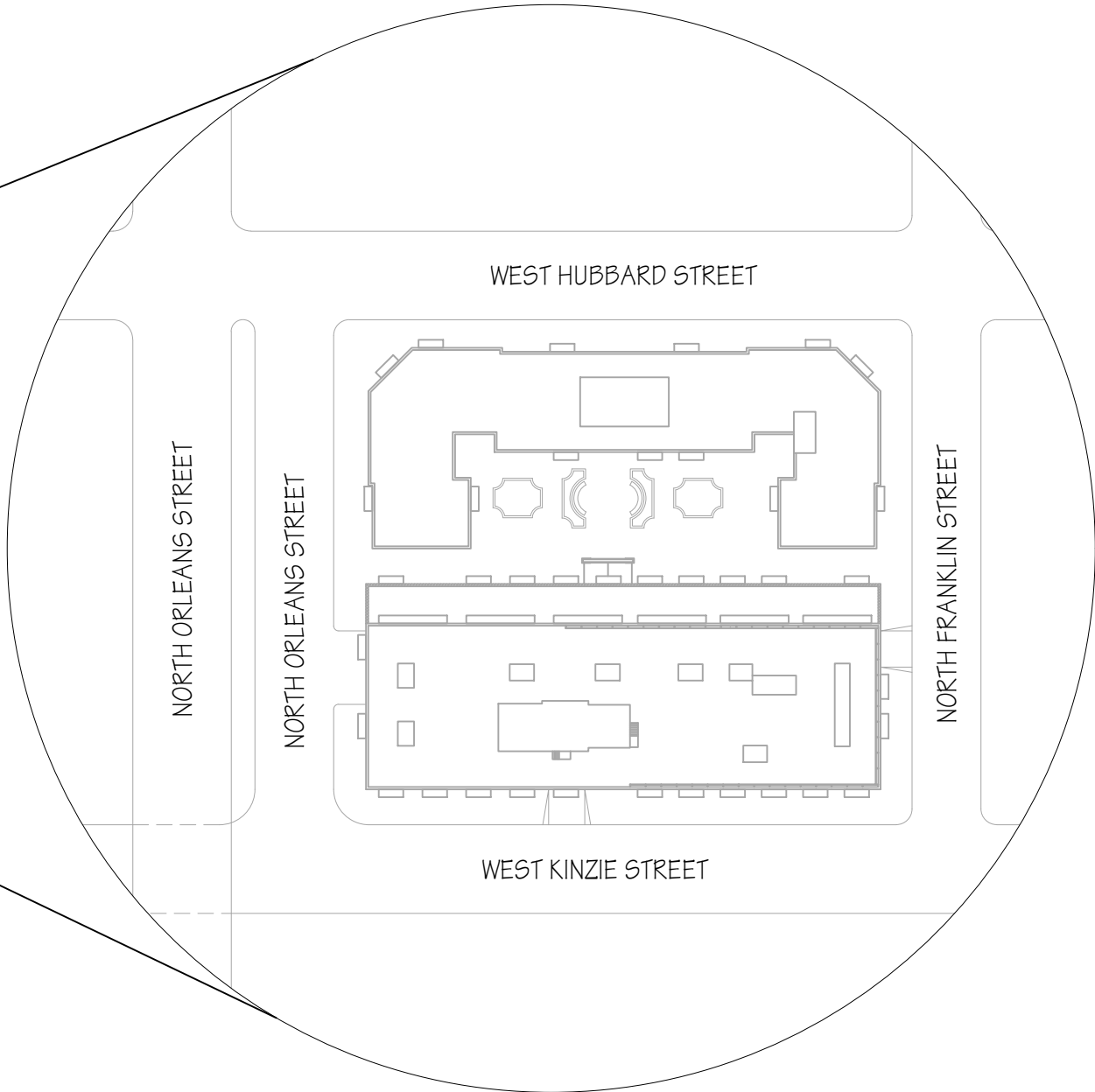
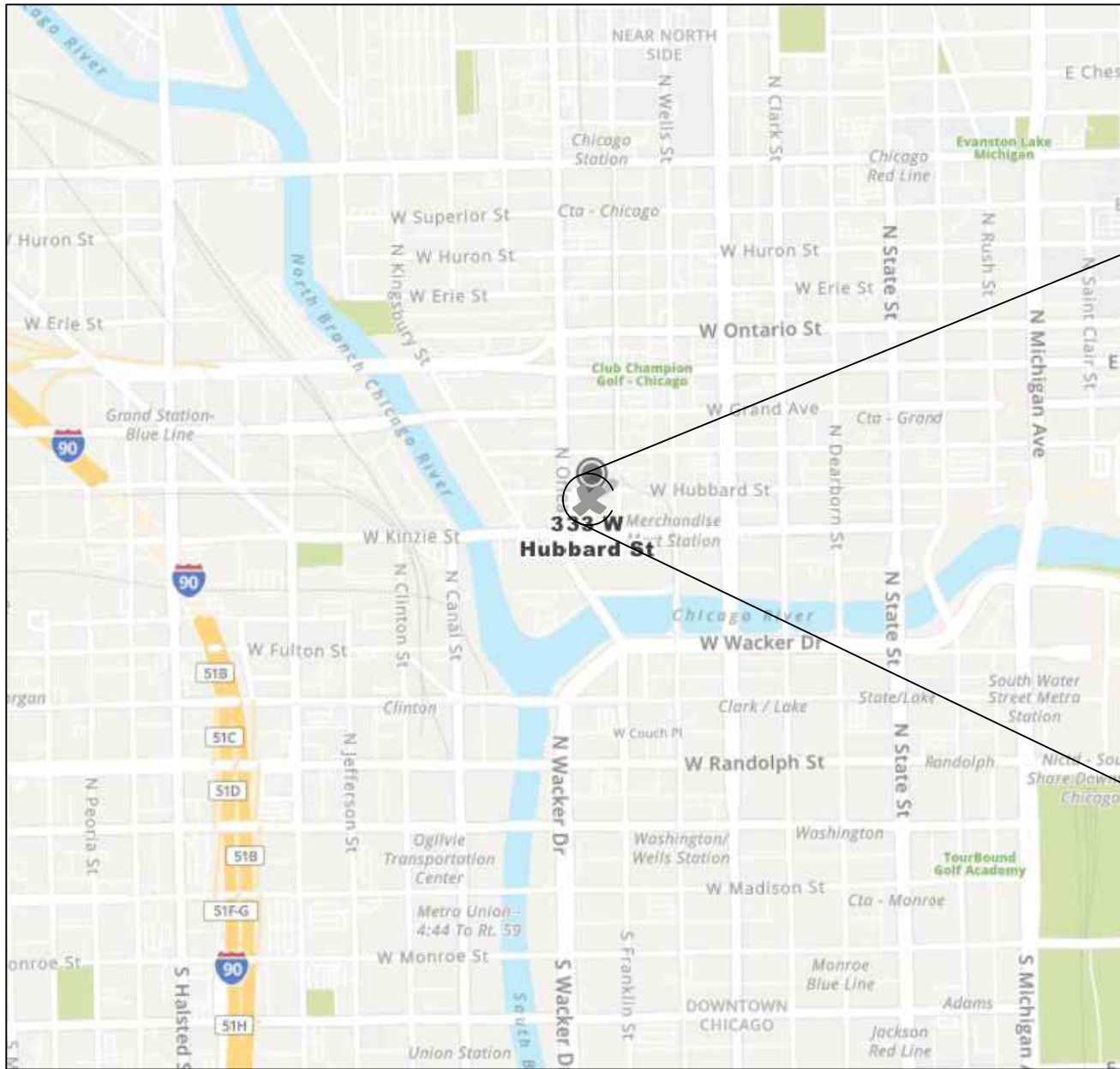
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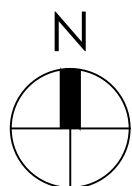
Site Plan:



1

SITE PLAN

NOT TO SCALE



Certifications:

Abbreviations:

- @ = AT

AFF = ABOVE FINISH FLOOR

ALUM. = ALUMINUM

B/ = BOTTOM OF

BOT. = BOTTOM

CF = COUNTERFLASHING

CMU = CONCRETE MASONRY UNIT

CONT. = CONTINUOUS

DS = DOWNSPOUT

DIA. = DIAMETER

EJ = EXPANSION JOINT

EA. = EACH

ELEV. = ELEVATION

EQ. = EQUAL

EXIST. = EXISTING

FD = FLOOR DRAIN

FF = FINISH FLOOR

GA. = GAUGE

GALV. = GALVANIZED

GYP. = GYPSUM

HT. = HEIGHT

MEMB. = MEMBRANE
- NIC = NOT IN CONTRACT

NO. = NUMBER

NTS = NOT TO SCALE

OC = ON CENTER

OPP. = OPPOSITE

PREFIN. = PRE-FINISHED

RAU = RUBBERIZED ASPHALT UNDERLAYMENT

RD = ROOF DRAIN

RM = ROOM

SS = STAINLESS STEEL

SIM. = SIMILAR

T/ = TOP OF

TERM. BAR = TERMINATION BAR

TWF = THROUGH-WALL FLASHING

TYP. = TYPICAL

UNO = UNLESS NOTED OTHERWISE

VIF = VERIFY IN FIELD

W/ = WITH

WP = WATERPROOFING

WRB = WEATHER RESISTIVE BARRIER

XPS = EXTRUDED POLYSTYRENE

Symbols:

- SECTION
- DETAIL NO.

SHEET
- NORTH ARROW
- DETAIL CALLOUT
- PHOTO REFERENCE

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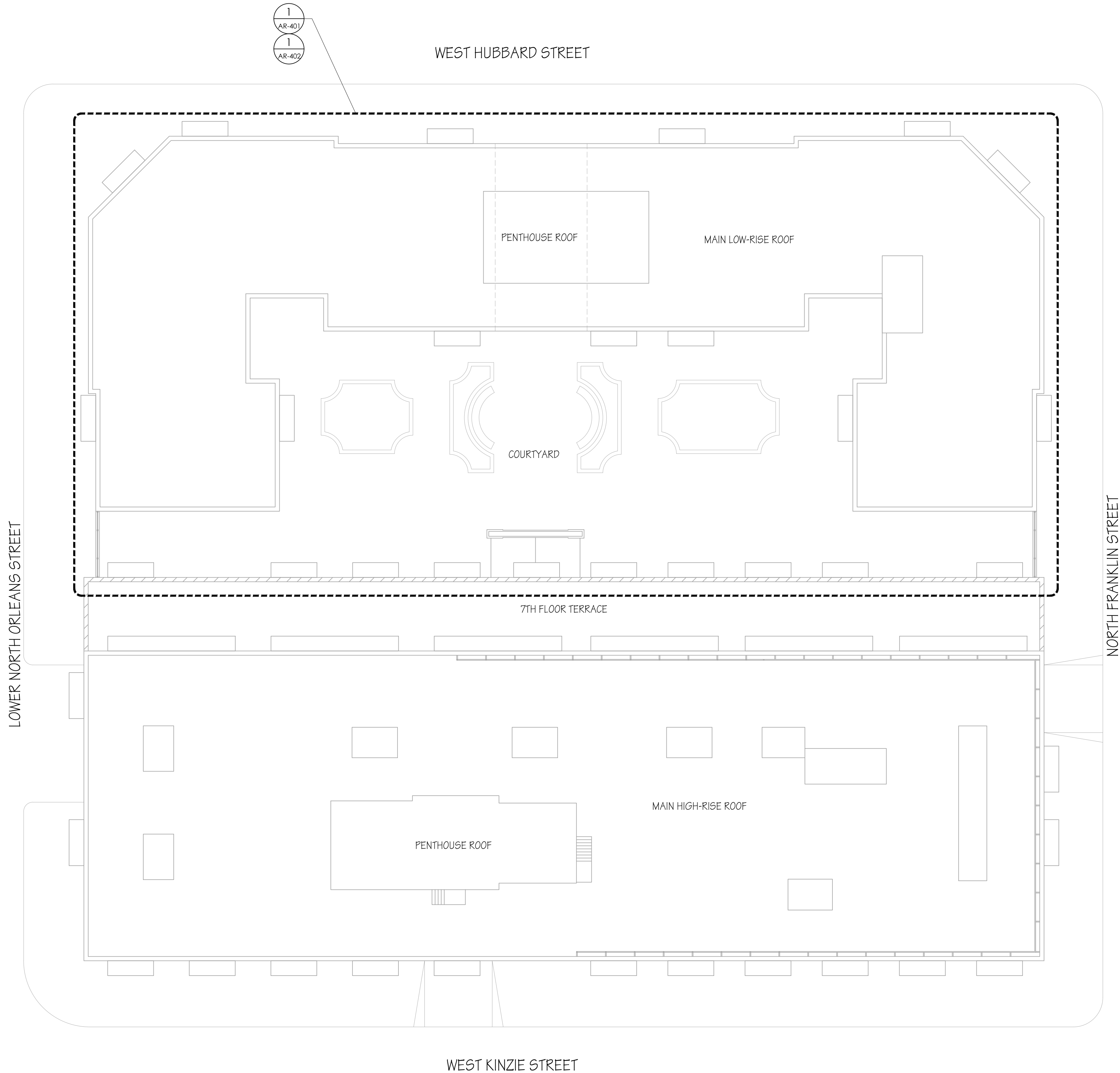
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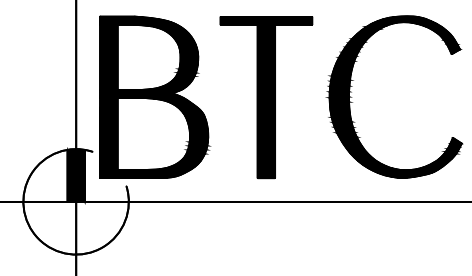
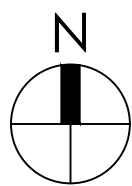
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Scope of Work (cont.):

- d. PROVIDE NEW DRAIN ASSEMBLIES AND ASSOCIATED PLUMBING WHERE DESIGNATED. TEST NEW DRAIN BOWLS AND PIPE CONNECTIONS FOR WEATHERTIGHTNESS AND ENSURE DRAIN LINES ARE OPEN AND UNRESTRICTED. DRAINS SHALL BE PROVIDED AS FOLLOWS:
i) PROVIDE NEW DRAIN ASSEMBLIES AT 11 EXISTING DRAIN LOCATIONS AND AT 2 NEW DRAIN LOCATIONS AS SHOWN ON DRAWINGS.
ii) PROVIDE NEW PLANTER DRAIN ASSEMBLIES AT 1 EXISTING DRAIN LOCATIONS AND AT 7 NEW DRAIN LOCATIONS AS SHOWN ON DRAWINGS.
- e. PROVIDE NEW WATERPROOFING MEMBRANE ASSEMBLY. WATERPROOFING WORK SEQUENCE SHALL CONSIDER DISRUPTIONS TO TENANTS AND AVOID EXPOSURE TO ANY INCLEMENT WEATHER. WATERPROOFING ASSEMBLY SHALL INCLUDE THE FOLLOWING COMPONENTS:
i) HOT-FLUID APPLIED WATERPROOFING MEMBRANE SYSTEM;
ii) EXPANSION JOINTS;
iii) LIQUID-APPLIED FLASHINGS AND ACCESSORIES; AND
iv) PROTECTION BOARD.
- f. PERFORM INTEGRITY TESTING OF THE COMPLETED WATERPROOFING SYSTEM PRIOR TO INSTALLATION OF OVERBURDEN COMPONENTS: INTEGRITY TESTING SHALL INCLUDE THE FOLLOWING:
i) RETAIN A QUALIFIED AND INDEPENDENT TESTING LABORATORY TO PERFORM ELECTRONIC LEAK DETECTION IN ACCORDANCE WITH ASTM D7877. A COMBINATION OF HIGH- AND LOW-VOLTAGE TESTING SHALL BE PERFORMED SUCH THAT ALL FLASHINGS AND DRAINS CAN BE TESTED.
ii) DO NOT ALLOW THE WATERPROOFING MEMBRANE TO BE SUBJECTED TO ANY TRAFFIC OR USE AFTER COMPLETION OF INTEGRITY TESTING AT EACH SECTION.
- g. PROVIDE SHEET METAL COUNTERFLASHING ALONG PERIMETER OF COURTYARD.
- h. AFTER WATERPROOFING MEMBRANE IS INSTALLED, PROTECT THE MEMBRANE AGAINST DAMAGE DUE TO TRAFFIC OR EXPOSURE TO ELEMENTS.
6. OVERBURDEN: AFTER COMPLETION OF COURTYARD WATERPROOFING, INSTALL OVERBURDEN INCLUDING THE FOLLOWING:
a. BITUMINOUS SETTING BED;
b. NEW BRICK PAVER SYSTEM; AND
c. DOG RUN.
7. PERFORM CONCRETE REPLACEMENT AT BREEZEWAY AND AT HIGH-RISE BUILDING ENTRANCE RAMP WHERE SHOWN ON DRAWINGS.
8. BREEZEWAY AND HIGH-RISE BUILDING ENTRANCE STAIRS/RAMP WATERPROOFING:
a. PREPARE EXISTING CONCRETE SURFACES TO REMAIN, INCLUDING PERFORMING CRACK REPAIRS AND PREPARATION OF EXISTING CONTROL JOINTS.
b. THOROUGHLY CLEAN EXISTING CONCRETE SURFACES IN ACCORDANCE WITH WATERPROOFING MANUFACTURER'S RECOMMENDATIONS.
c. PROVIDE NEW FLUID-APPLIED WATERPROOFING SYSTEM, COMPLETE WITH MOISTURE MITIGATION PRIMER, BASE COAT, TOP COAT, ANTI-SKID RESISTANCE AGGREGATE AND ASSOCIATED FLASHINGS.
d. PROVIDE SHEET METAL COUNTERFLASHING ALONG PERIMETER OF BREEZEWAY.
9. FURNITURE, FIXTURES, AND LANDSCAPING:
a. PROVIDE NEW FIBERGLASS PLANTERS WHERE SHOWN ON LANDSCAPE DRAWINGS.
b. PROVIDE NEW POWDER-COATED KITSAP PLANTERS WITH BENCHES WHERE SHOWN ON LANDSCAPE DRAWINGS.
c. PROVIDE LANDSCAPE PLANTINGS AS SHOWN ON LANDSCAPE DRAWINGS.
d. PROVIDE IRRIGATION AT PLANTERS AS SHOWN ON LANDSCAPE DRAWINGS.
e. PROVIDE LIGHTING AT PLANTERS AS SHOWN ON LANDSCAPE DRAWINGS.
10. PERFORM ALL OTHER WORK SHOWN ON DRAWINGS OR REQUIRED FOR A COMPLETE AND WATERTIGHT APPLICATION, BUT NOT LISTED ABOVE.
11. PERFORM ADDITIONAL WORK AS DIRECTED BY ENGINEER ON A TIME-AND-MATERIAL BASIS AND AS APPROVED THROUGH EXECUTED CHANGE ORDERS.
12. THOROUGHLY CLEAN SITE AND DEMOBILIZE.
- B. ALTERNATE 1 INCLUDES: PROVIDE PERFORMANCE AND PAYMENT BONDS FOR BASE BID WORK.



1 SITE PLAN
1/16" = 1'-0"



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Site Plan

Sheet:

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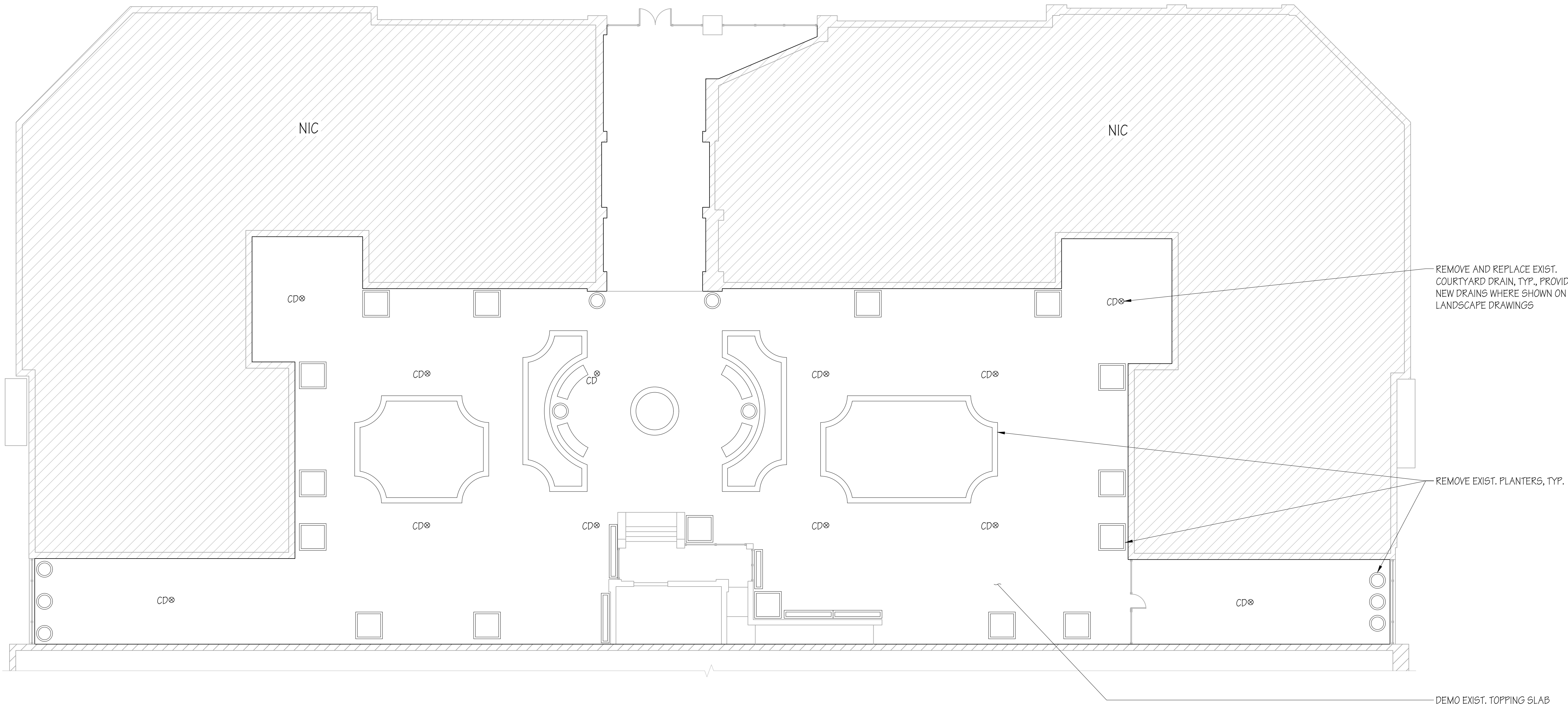
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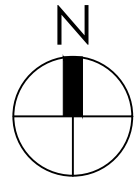
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Demolition Plan

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1 ENLARGED COURTYARD DEMOLITION PLAN
3/32" = 1'-0"





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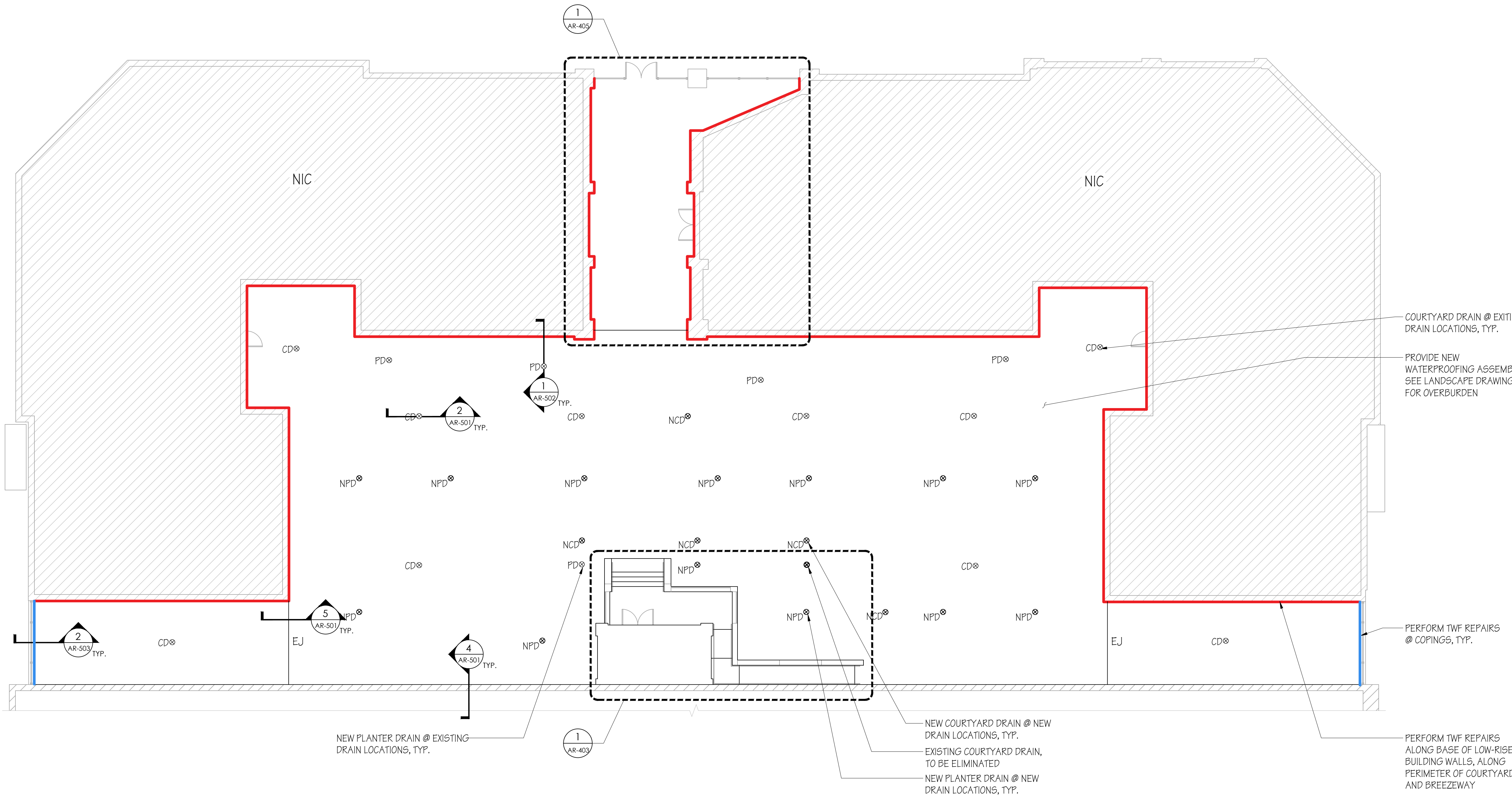
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Courtyard Plan

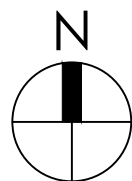
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* SEE SHEET L-600 - UNDERDRAINAGE PLAN

1 ENLARGED COURTYARD PLAN
3/32" = 1'-0"



LEGEND:

- ⊗ NCD NEW LOCATION COURTYARD DRAIN
- ⊗ CD COURTYARD DRAIN @ EXIST. LOCATION
- ⊗ NPD NEW LOCATION PLANTER DRAIN
- ⊗ PD PLANTER DRAIN @ EXIST. LOCATION
- TWF REPAIRS @ BASE OF WALL
- TWF REPAIRS @ COPING



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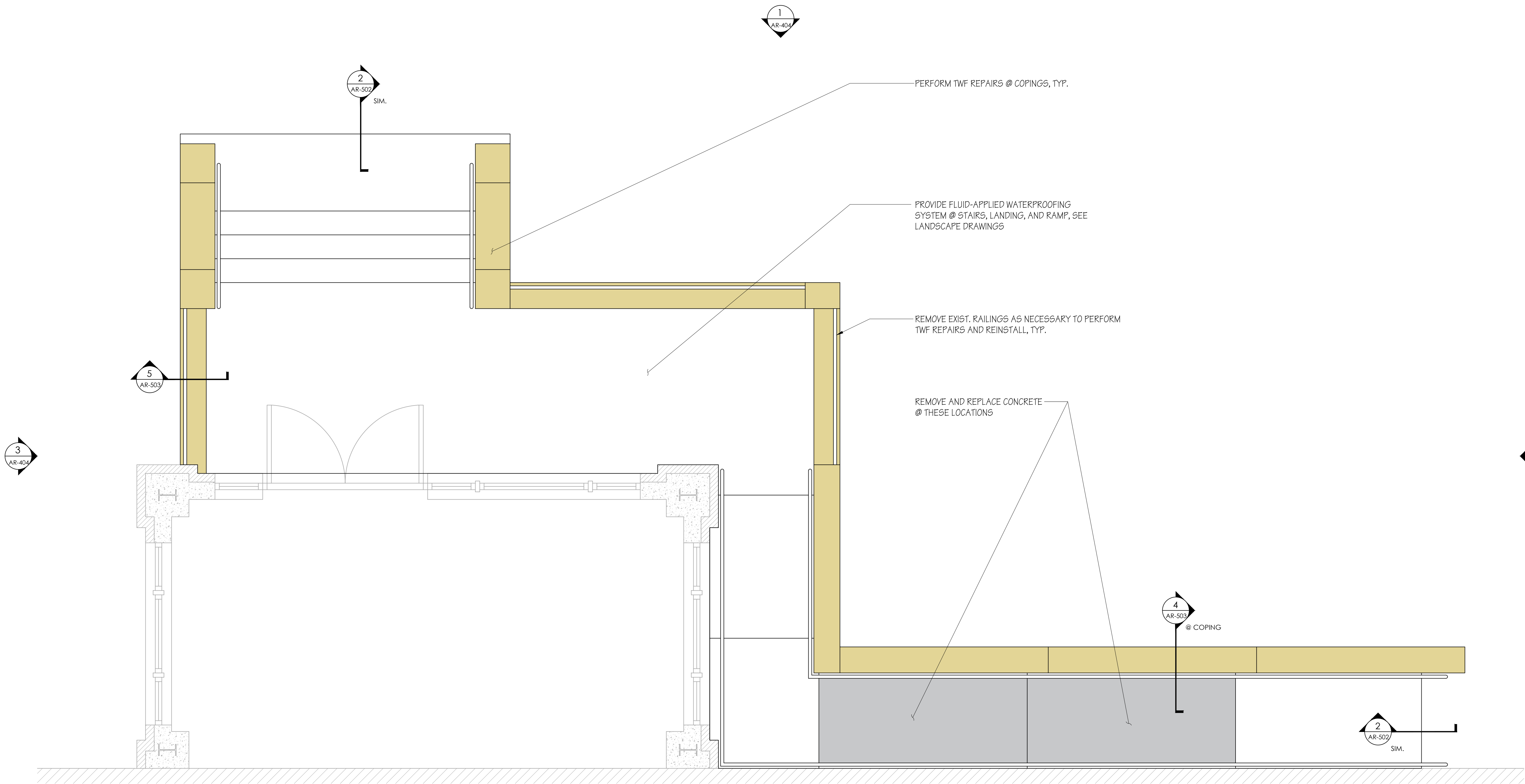
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High-Rise Entry
Plan

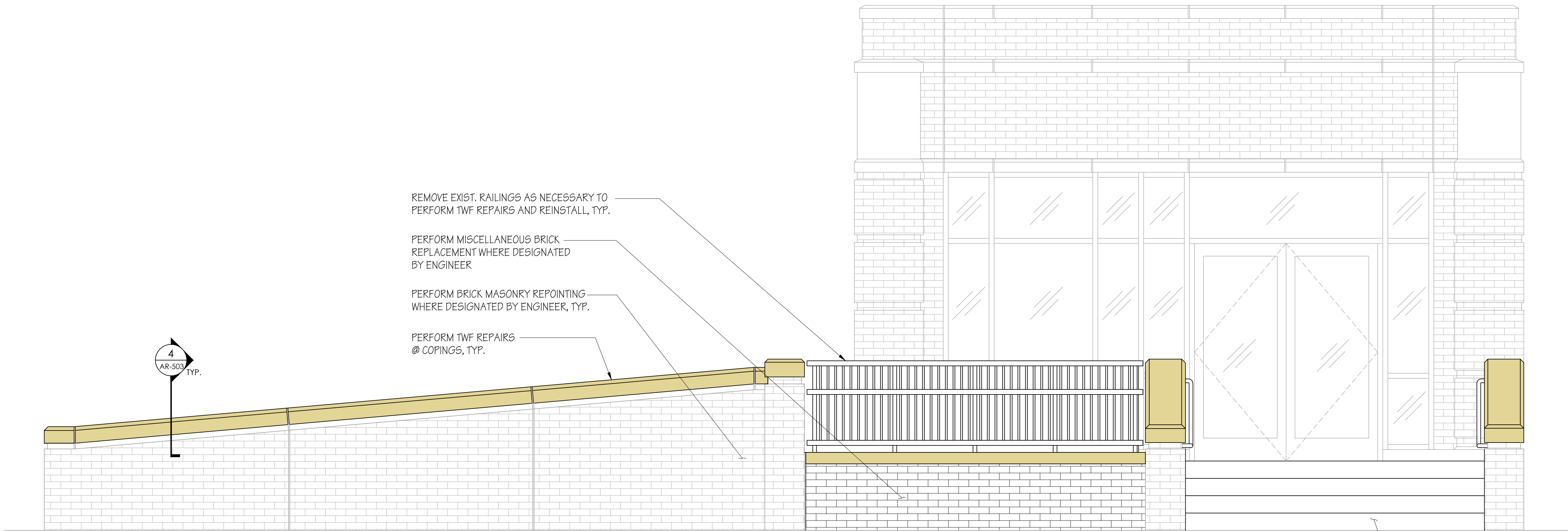
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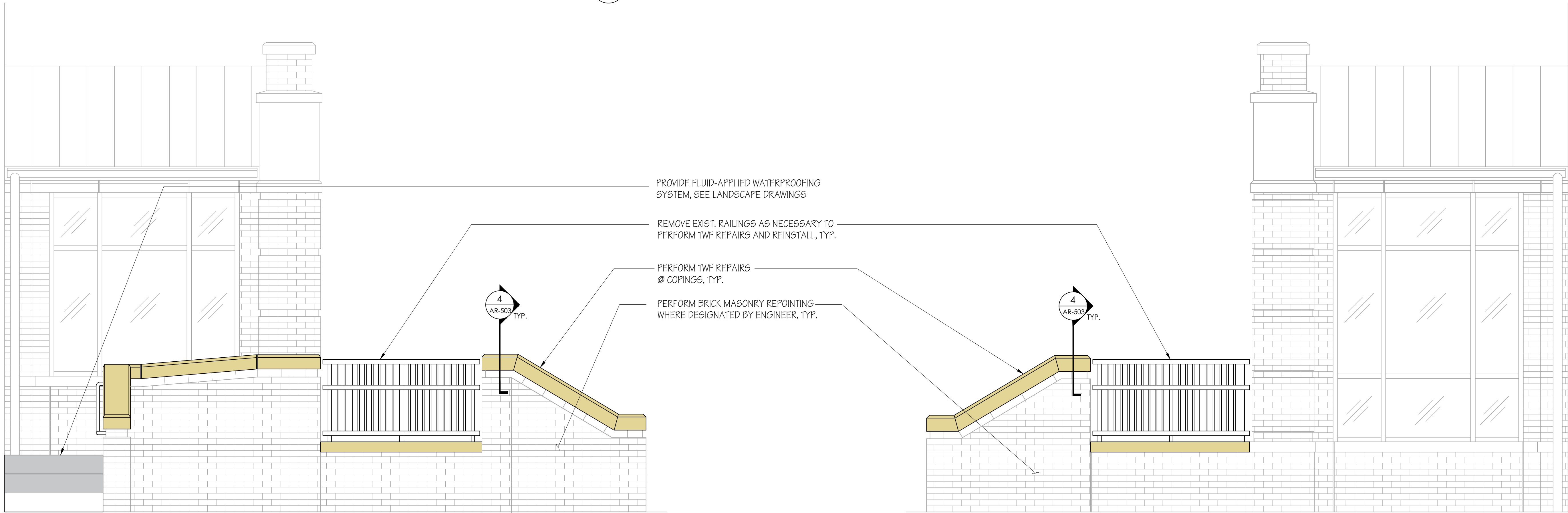


1 ENLARGED ENTRY PLAN
1/2" = 1'-0"

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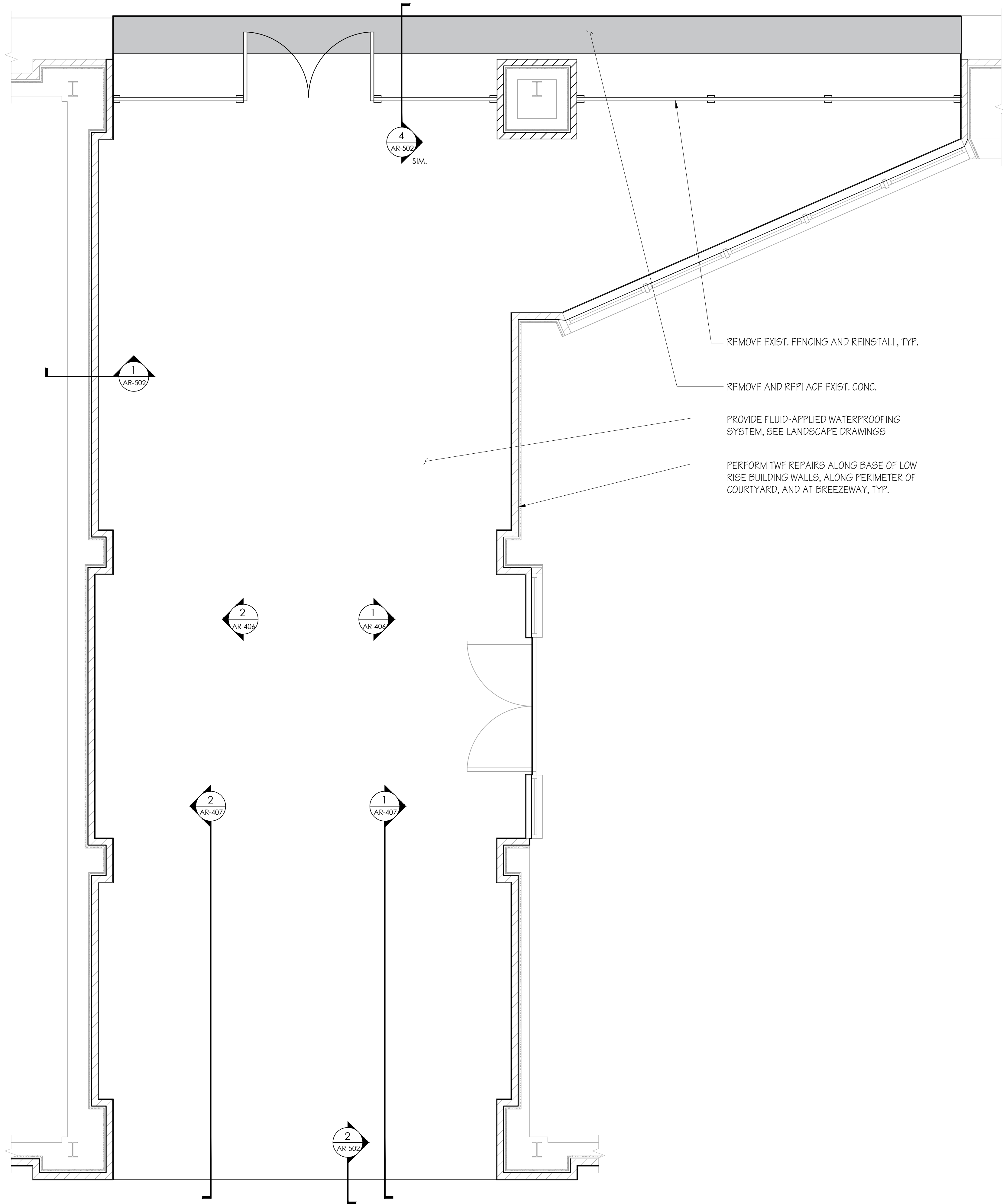


1 ENLARGED NORTH ELEVATION @ ENTRY
1/2" = 1'-0"

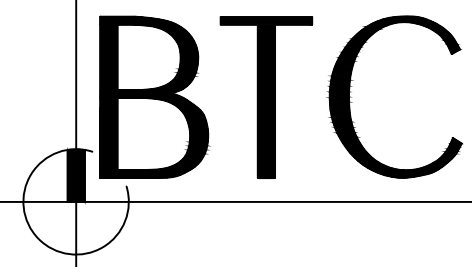


2 ENLARGED EAST ELEVATION @ ENTRY
1/2" = 1'-0"

3 ENLARGED WEST ELEVATION @ ENTRY
1/2" = 1'-0"



1 ENLARGED BREEZEWAY PLAN
3/8" = 1'-0"



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Breezeway Plan

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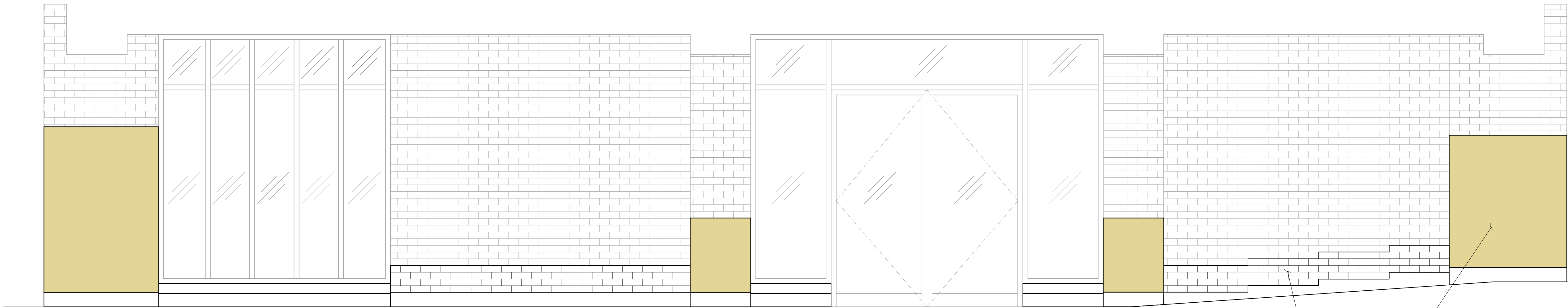
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Breezeway Elevations

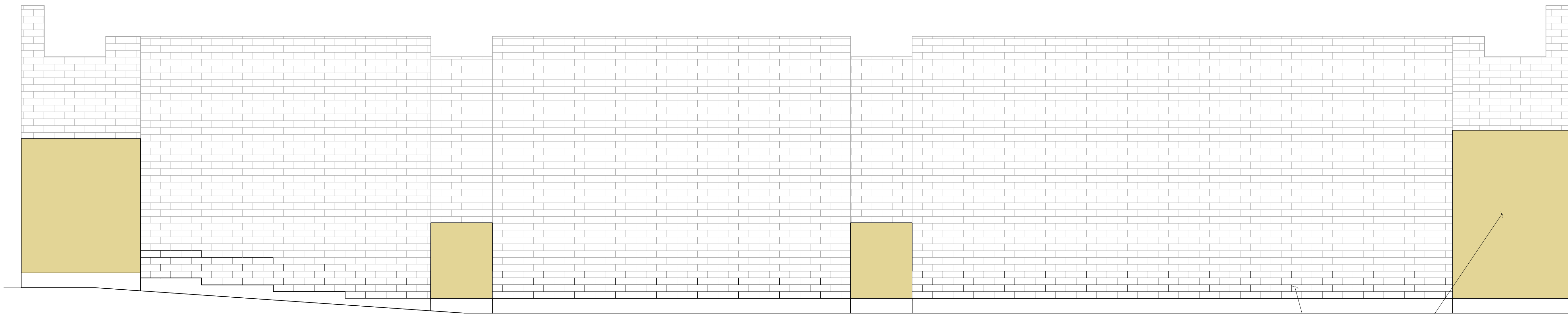
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1 ENLARGED WEST ELEVATION @ BREEZEWAY
1/2" = 1'-0"

REMOVE, MODIFY, AND REINSTALL
EXIST. LIMESTONE PANELS, TYP.

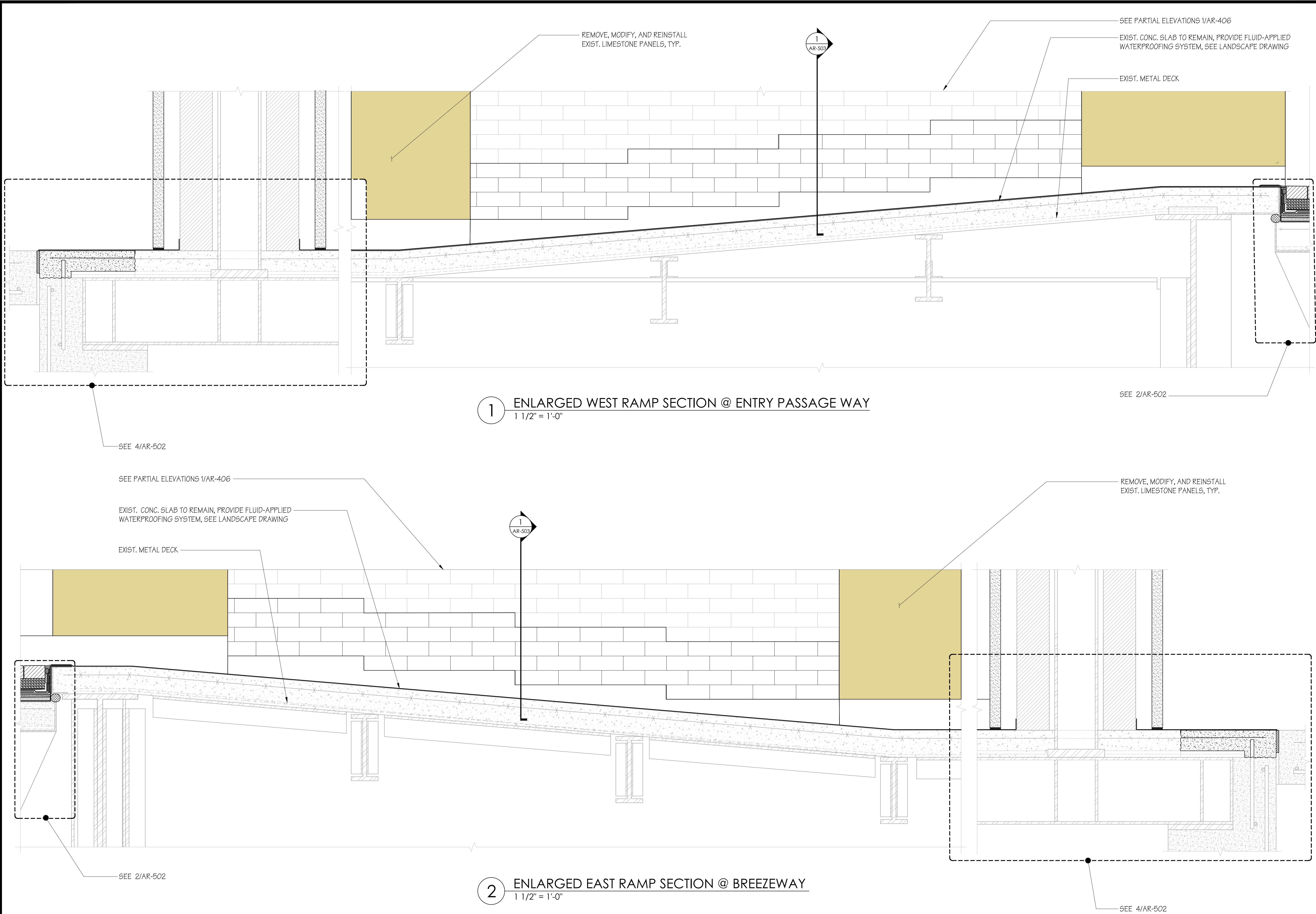
PERFORM TWF REPAIRS ALONG BASE OF LOW
RISE BUILDING WALLS, ALONG PERIMETER OF
COURTYARD, AND AT BREEZEWAY, TYP.
SEE DETAIL 1/AR-501

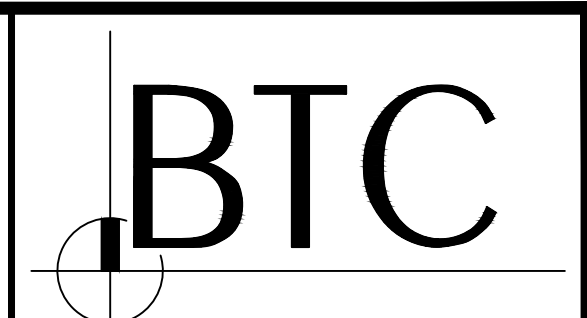


2 ENLARGED EAST ELEVATION @ BREEZEWAY
1/2" = 1'-0"

REMOVE, MODIFY, AND REINSTALL
EXIST. LIMESTONE PANELS, TYP.

PERFORM TWF REPAIRS ALONG BASE OF LOW
RISE BUILDING WALLS, ALONG PERIMETER OF
COURTYARD, AND AT BREEZEWAY, TYP.
SEE DETAIL 1/AR-501





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Breezeway Sections

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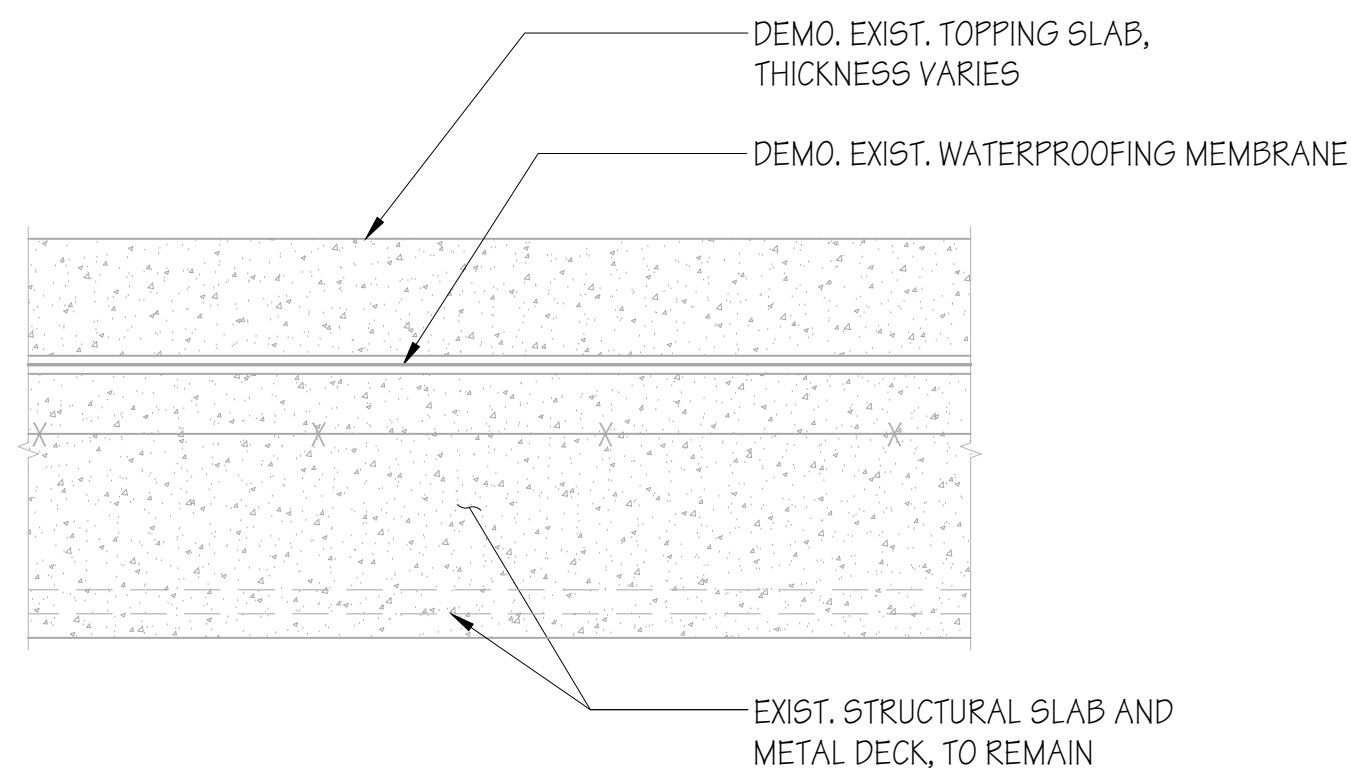
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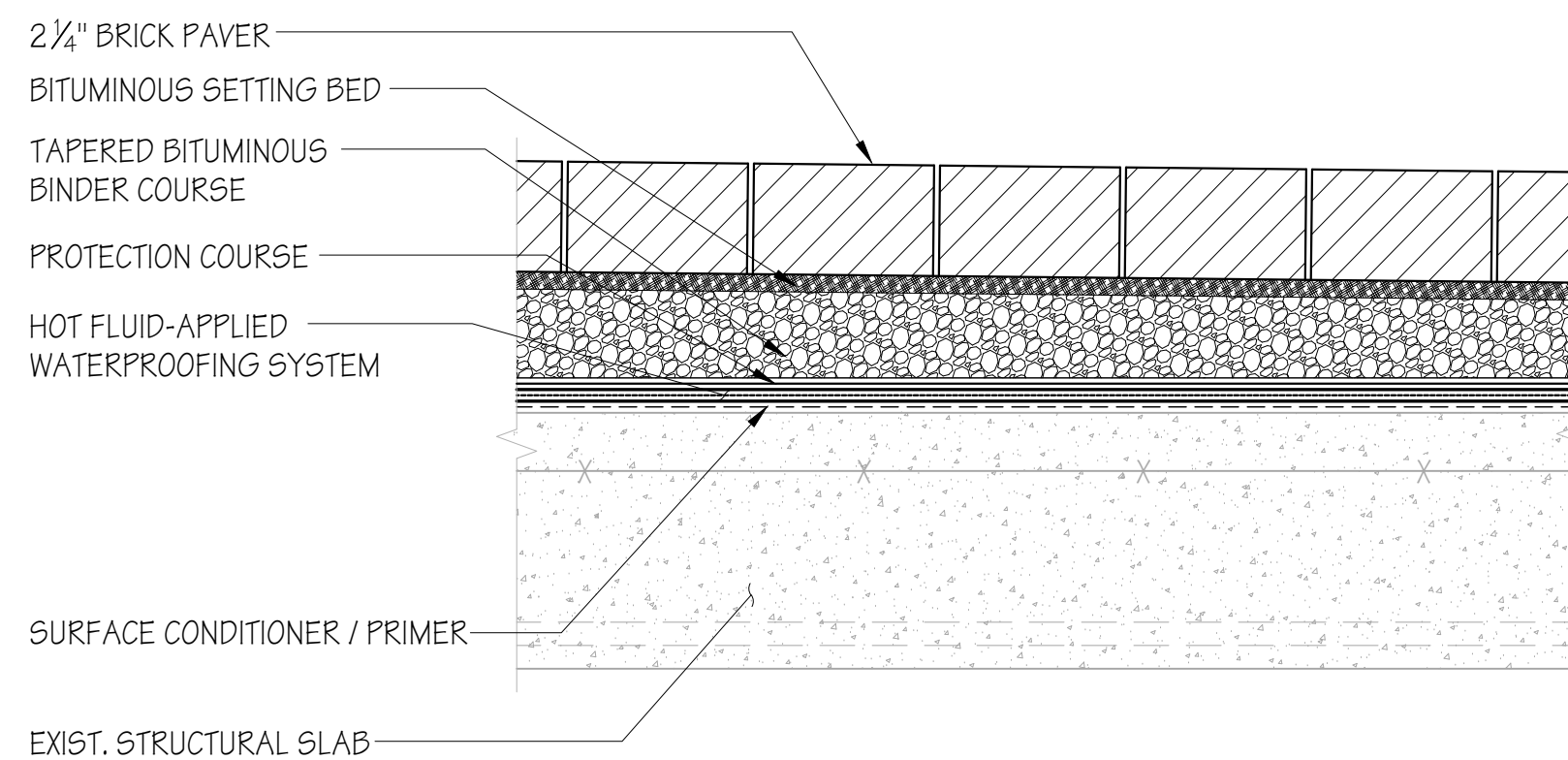
Details

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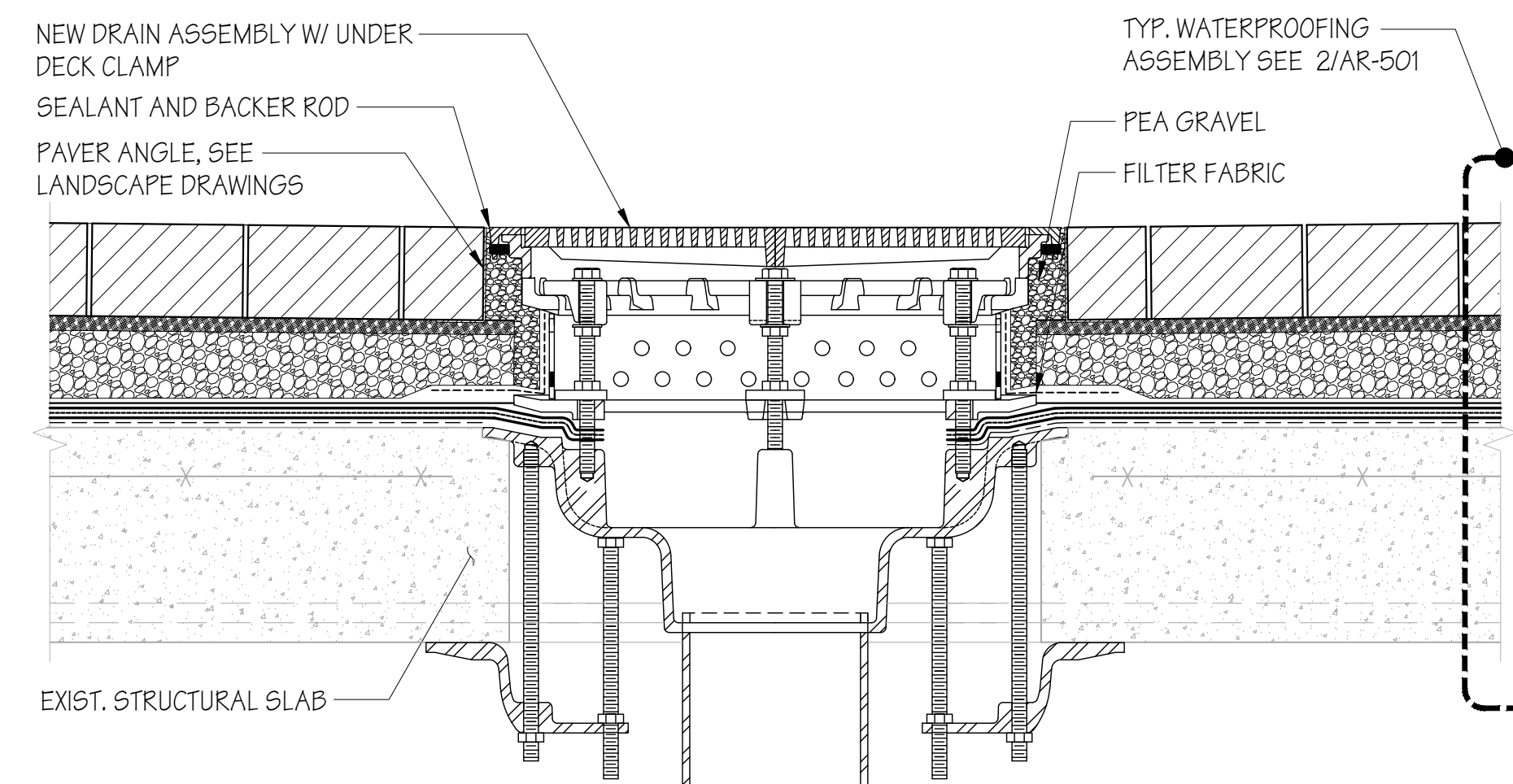
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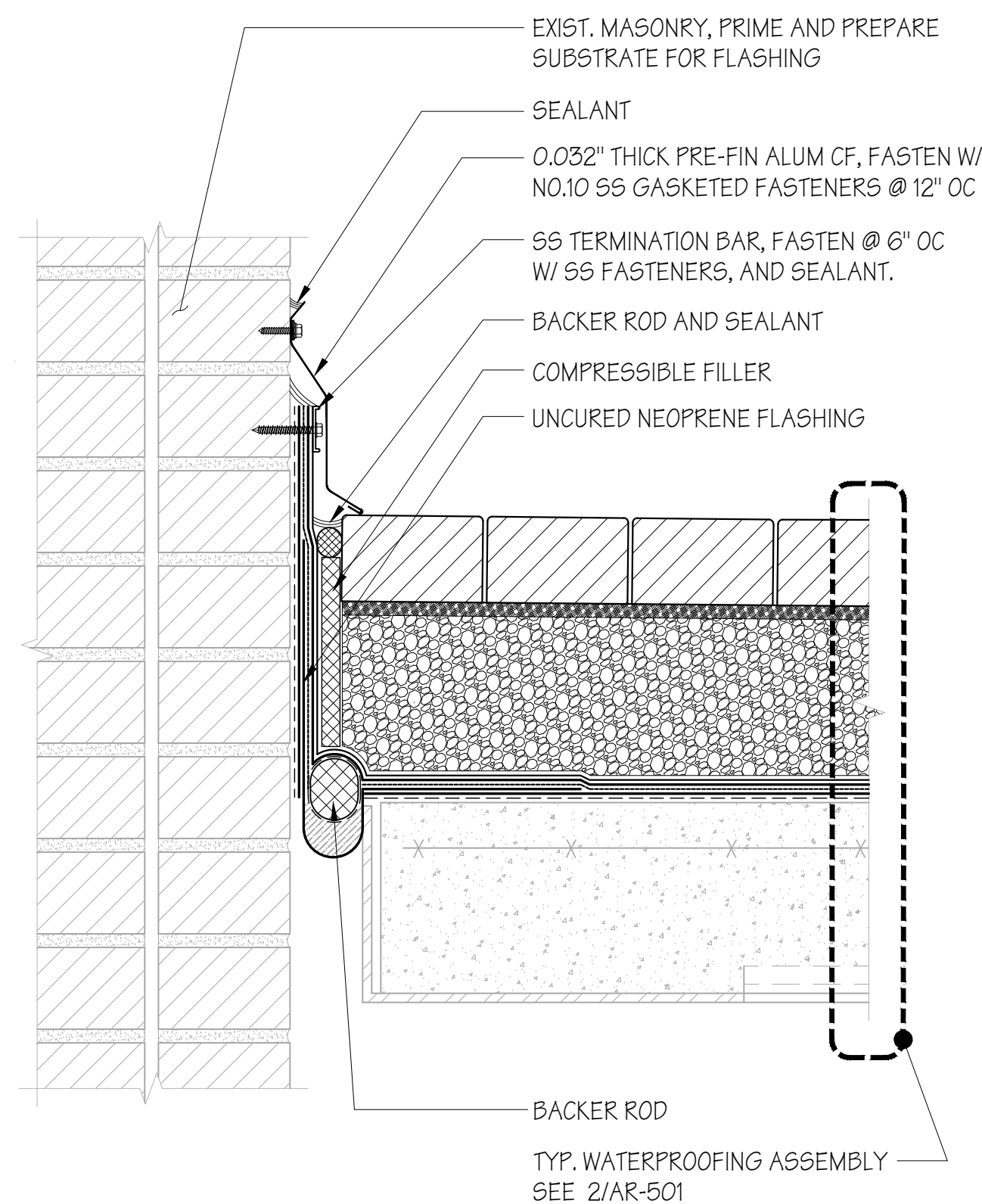
1 EXIST. WATERPROOFING ASSEMBLY
3" = 1'-0"



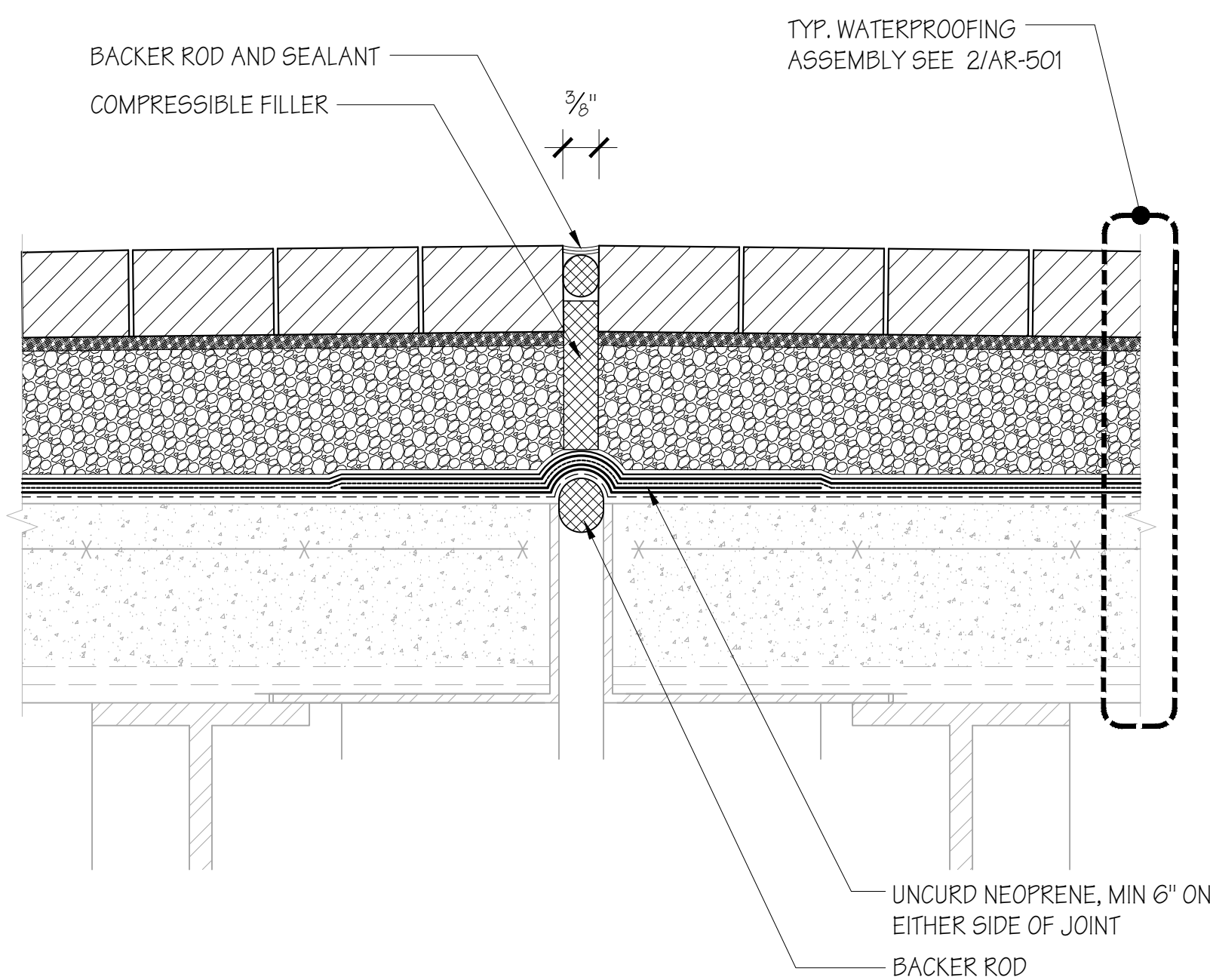
2 TYP. WATERPROOFING ASSEMBLY
3" = 1'-0"



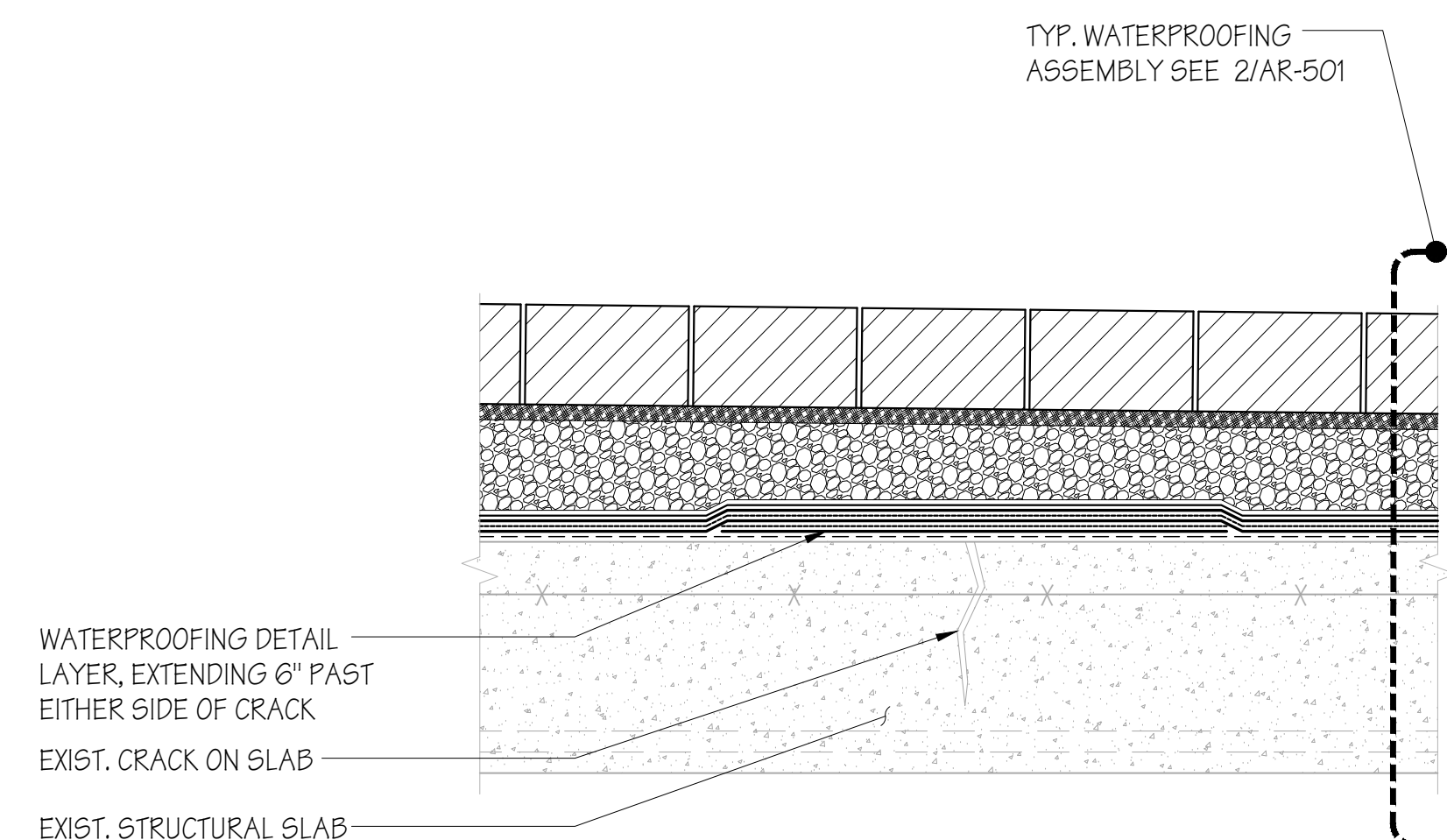
3 COURTYARD DRAIN DETAIL
3" = 1'-0"



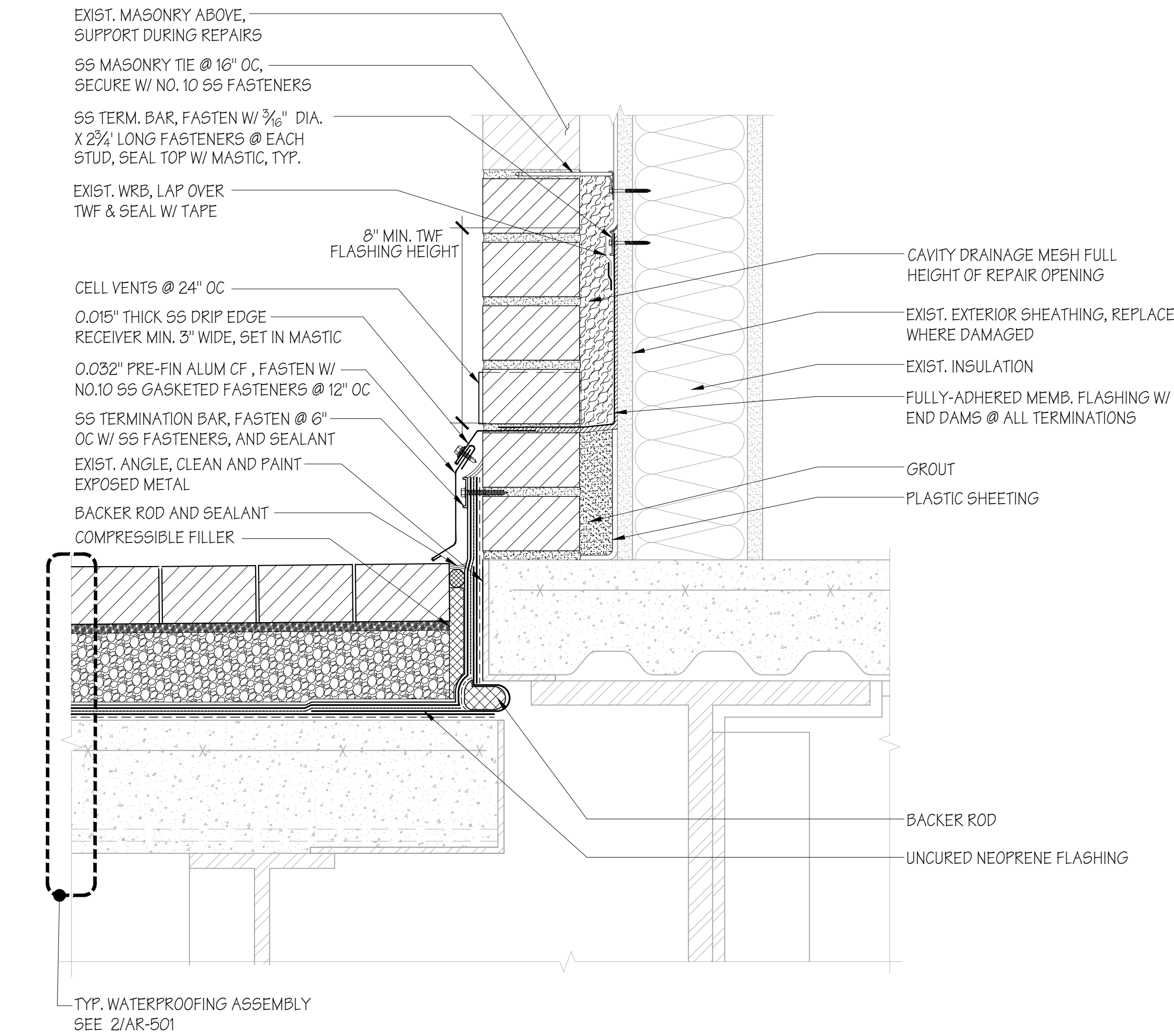
4 COURTYARD BASE OF WALL DETAIL
3" = 1'-0" @ HIGH RISE BUILDING



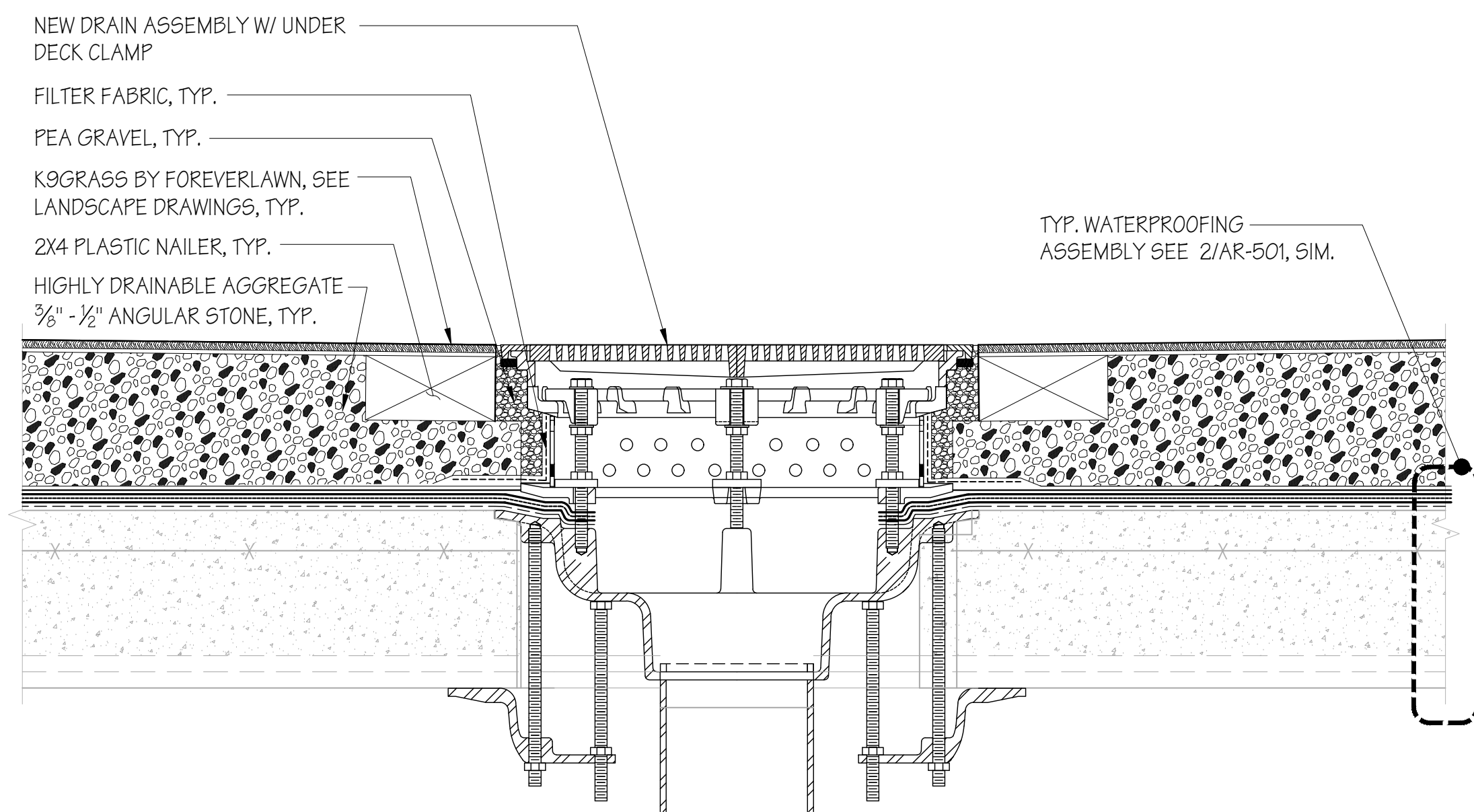
5 EJ DETAIL
3" = 1'-0" @ COURTYARD



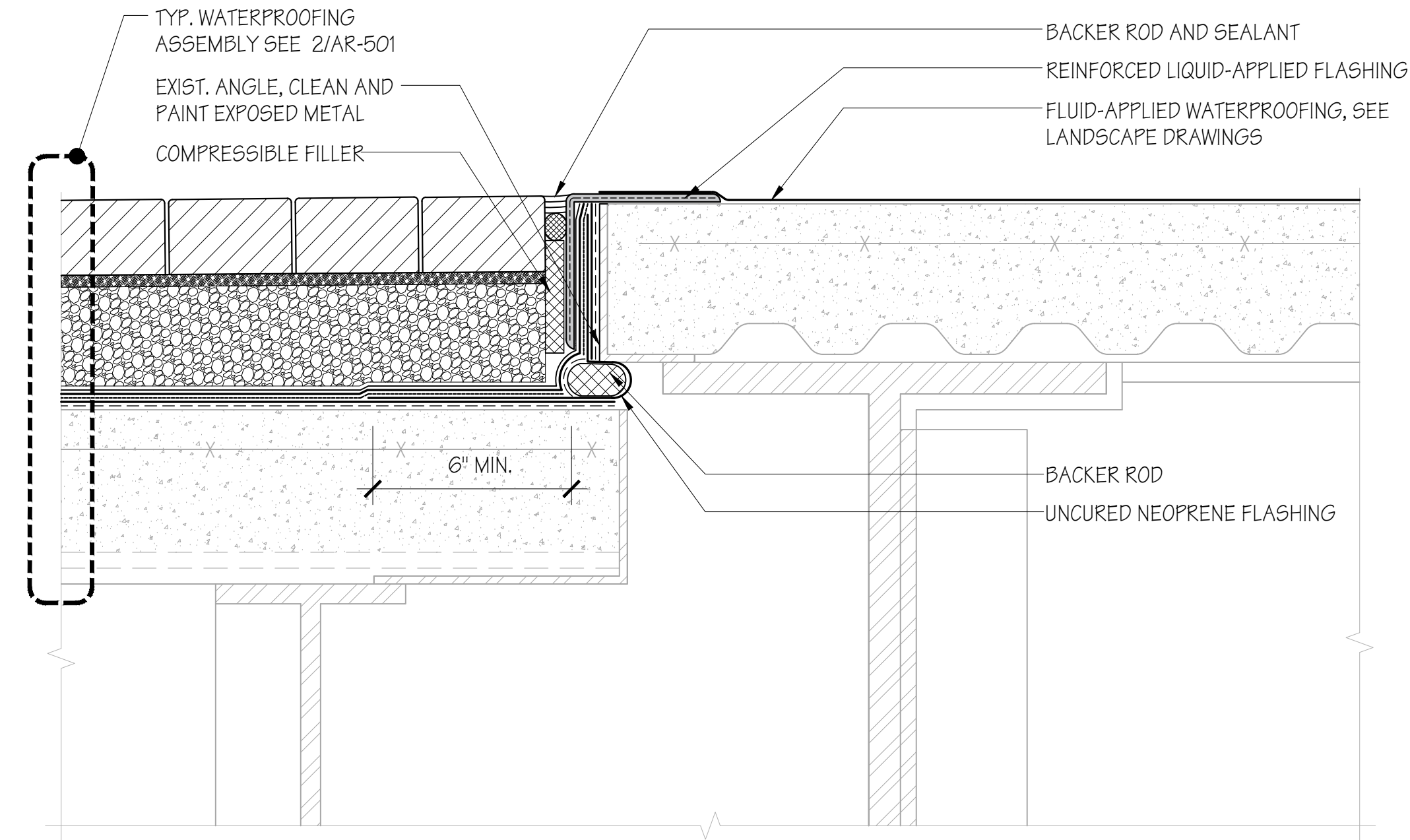
6 CRACK REPAIR DETAIL
3" = 1'-0"



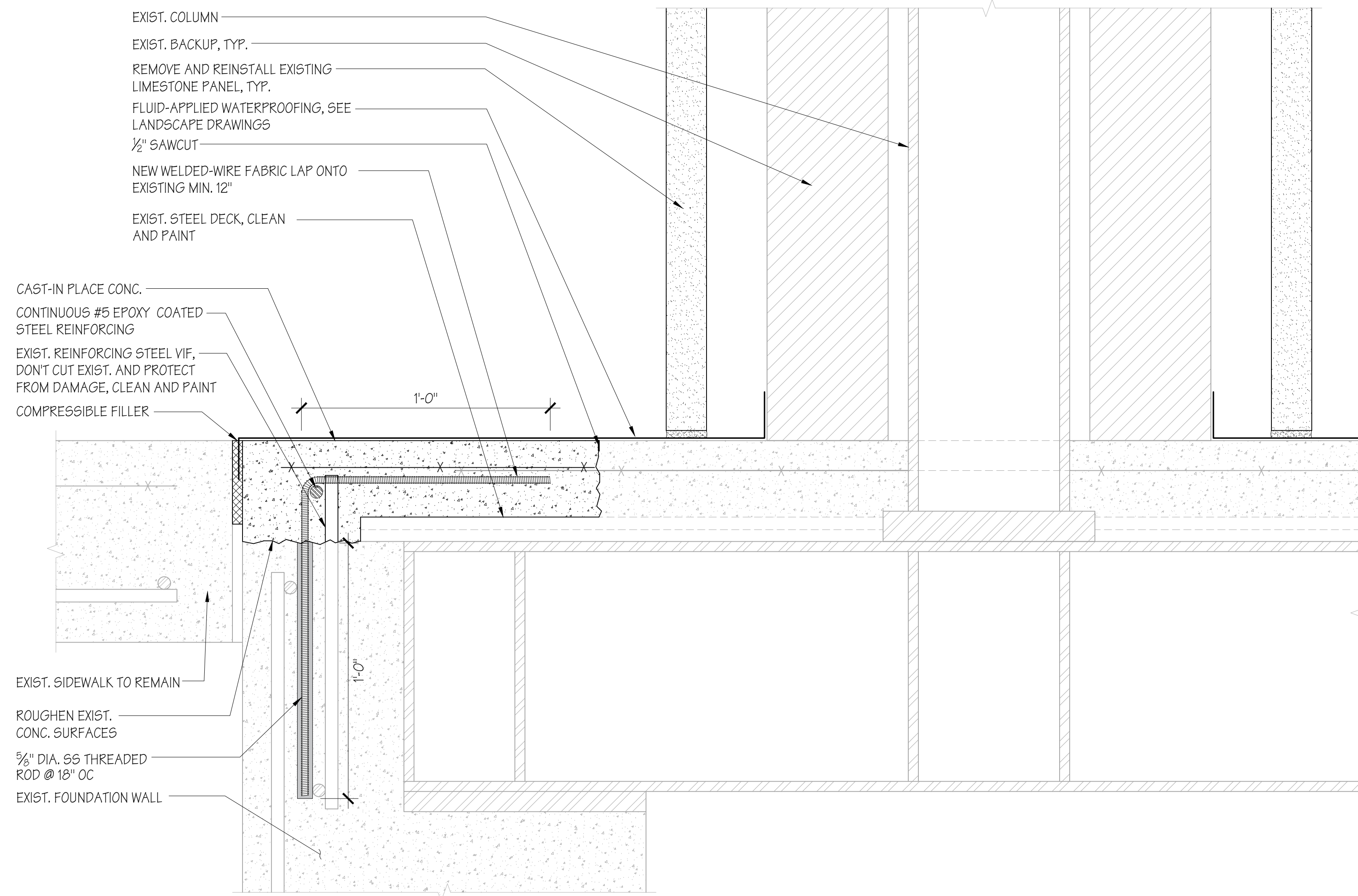
1 **COURTYARD BASE OF WALL DETAIL**
3" = 1'-0" @ LOW RISE BUILDING



3 **DRAIN DETAIL**
3" = 1'-0" @ DOG RUN

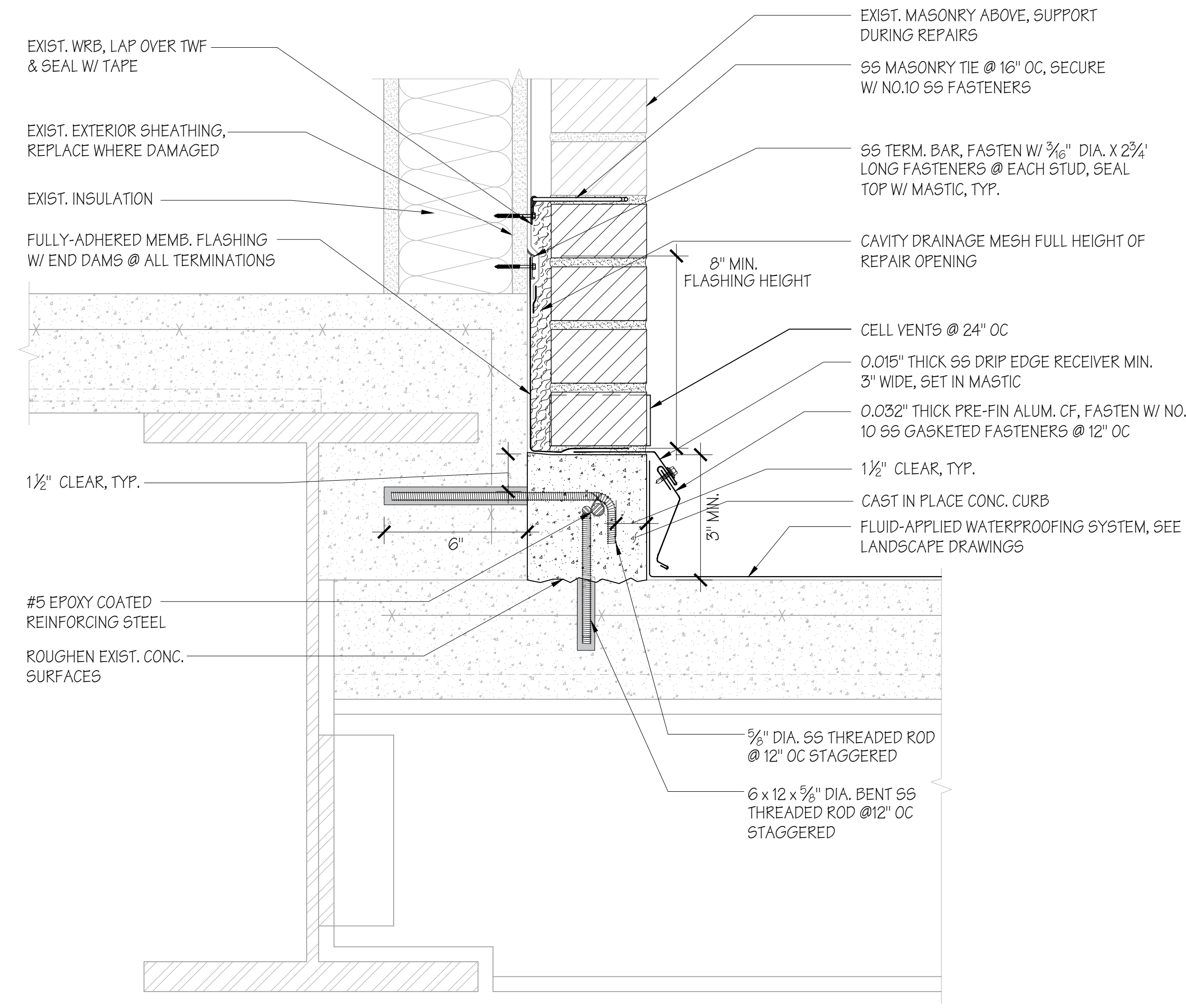


2 **COURTYARD E.J. DETAIL**
3" = 1'-0" @ BREEZEWAY

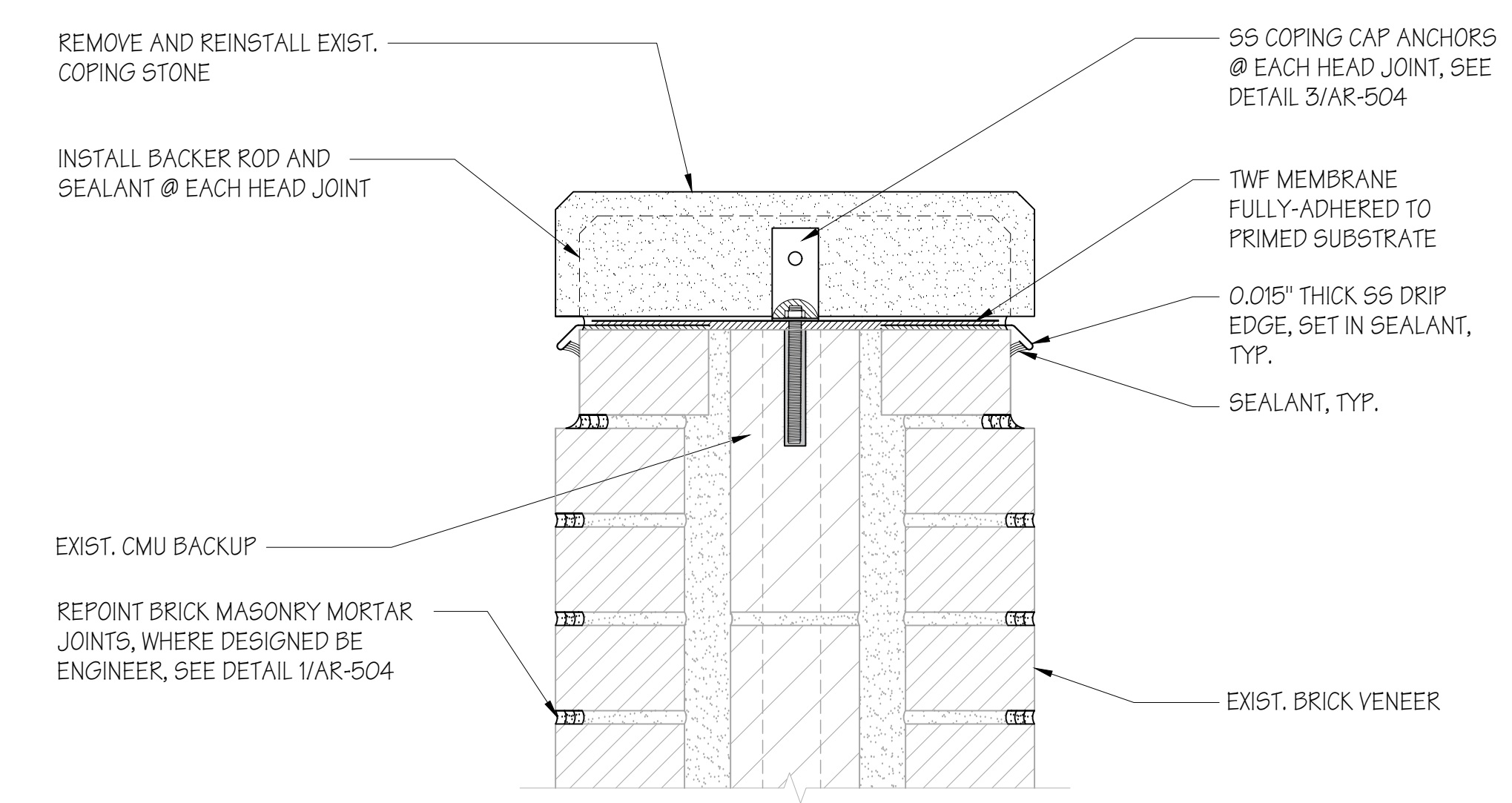


4 **BREEZEWAY TO SIDEWALK DETAIL**
3" = 1'-0"

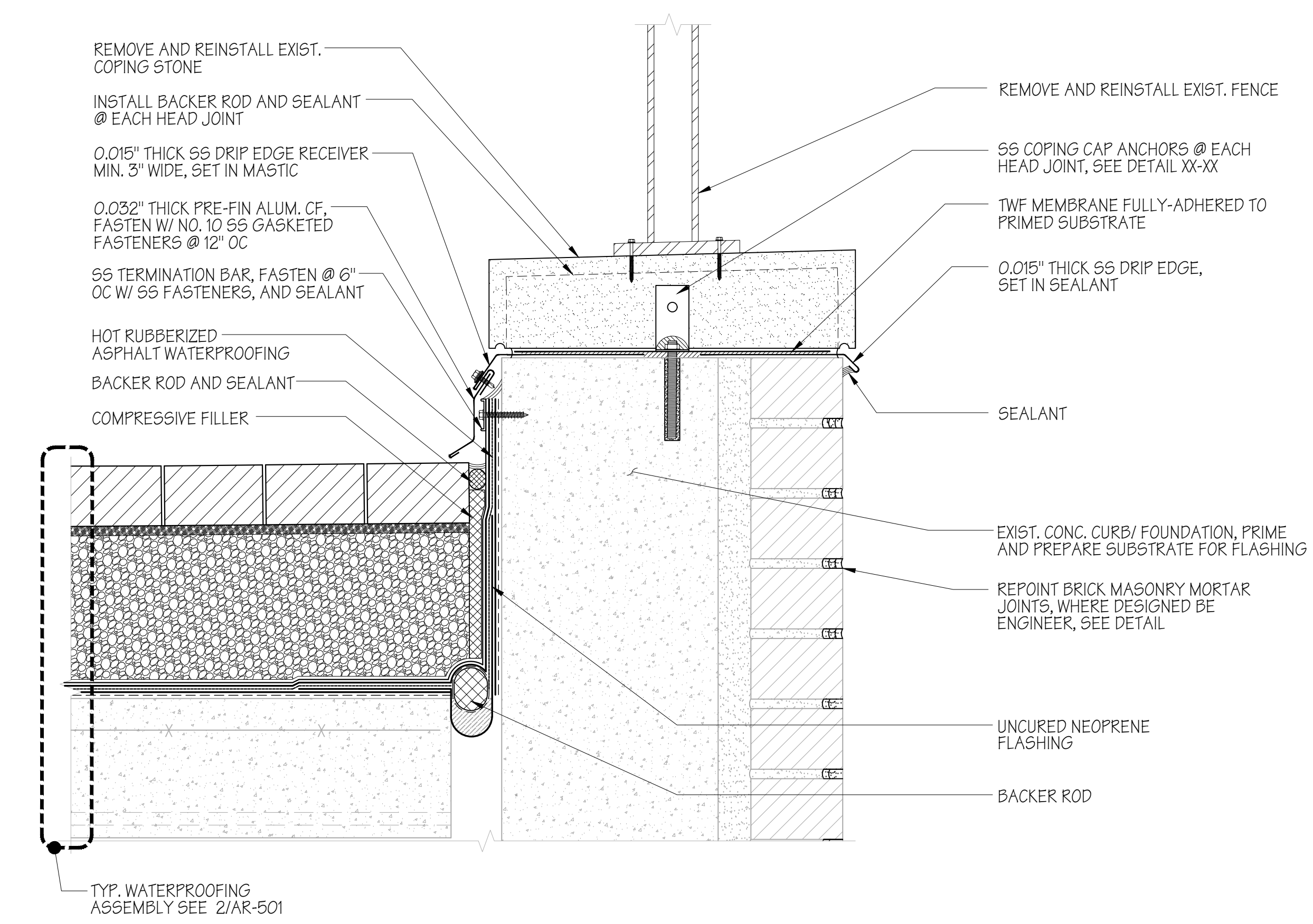
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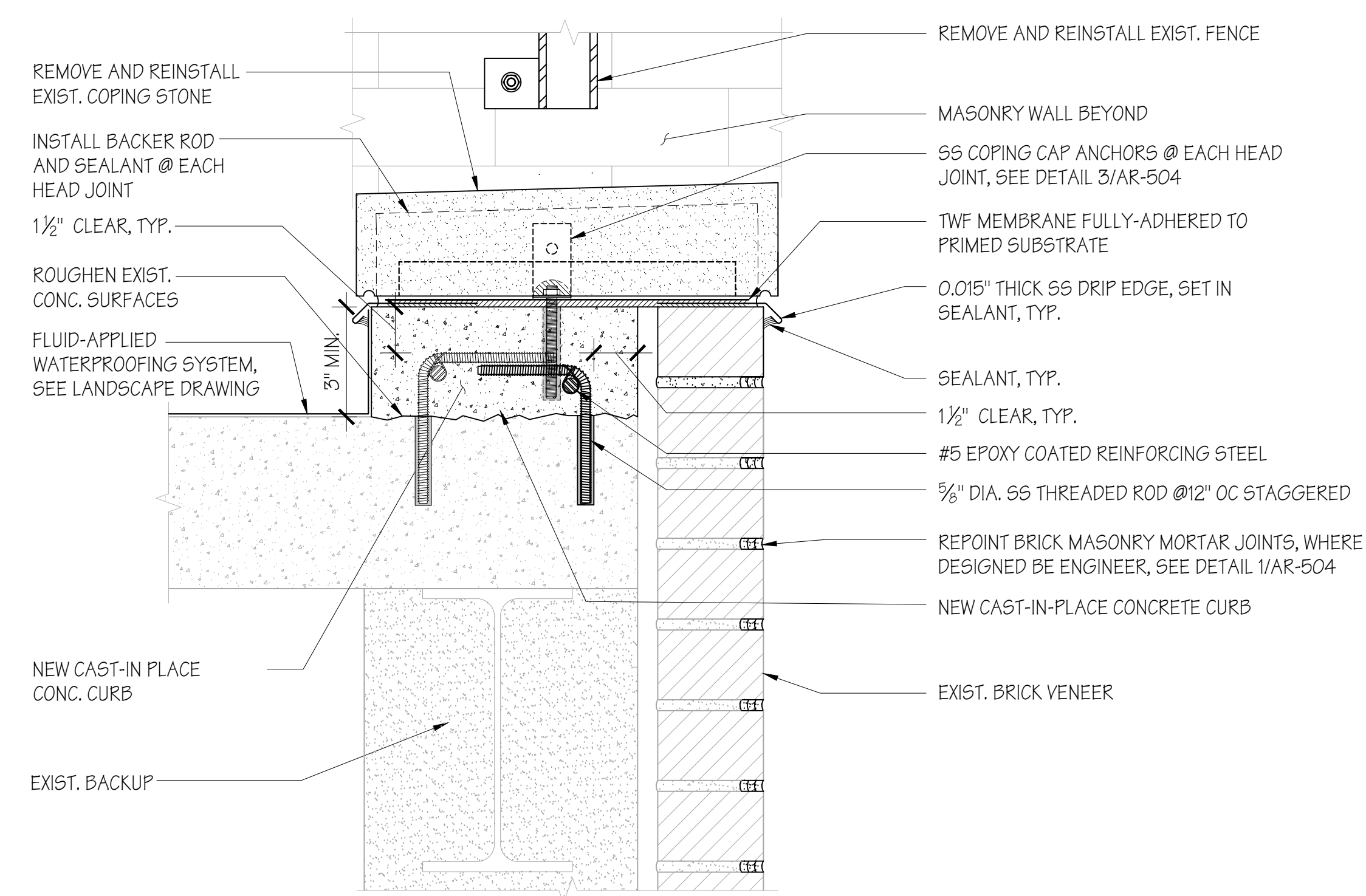
1 ENTRANCE PASSAGE WAY BASE OF WALL DETAIL
3" = 1'-0"



4 COPING DETAIL @ ENTRANCE STAIRS
3" = 1'-0"

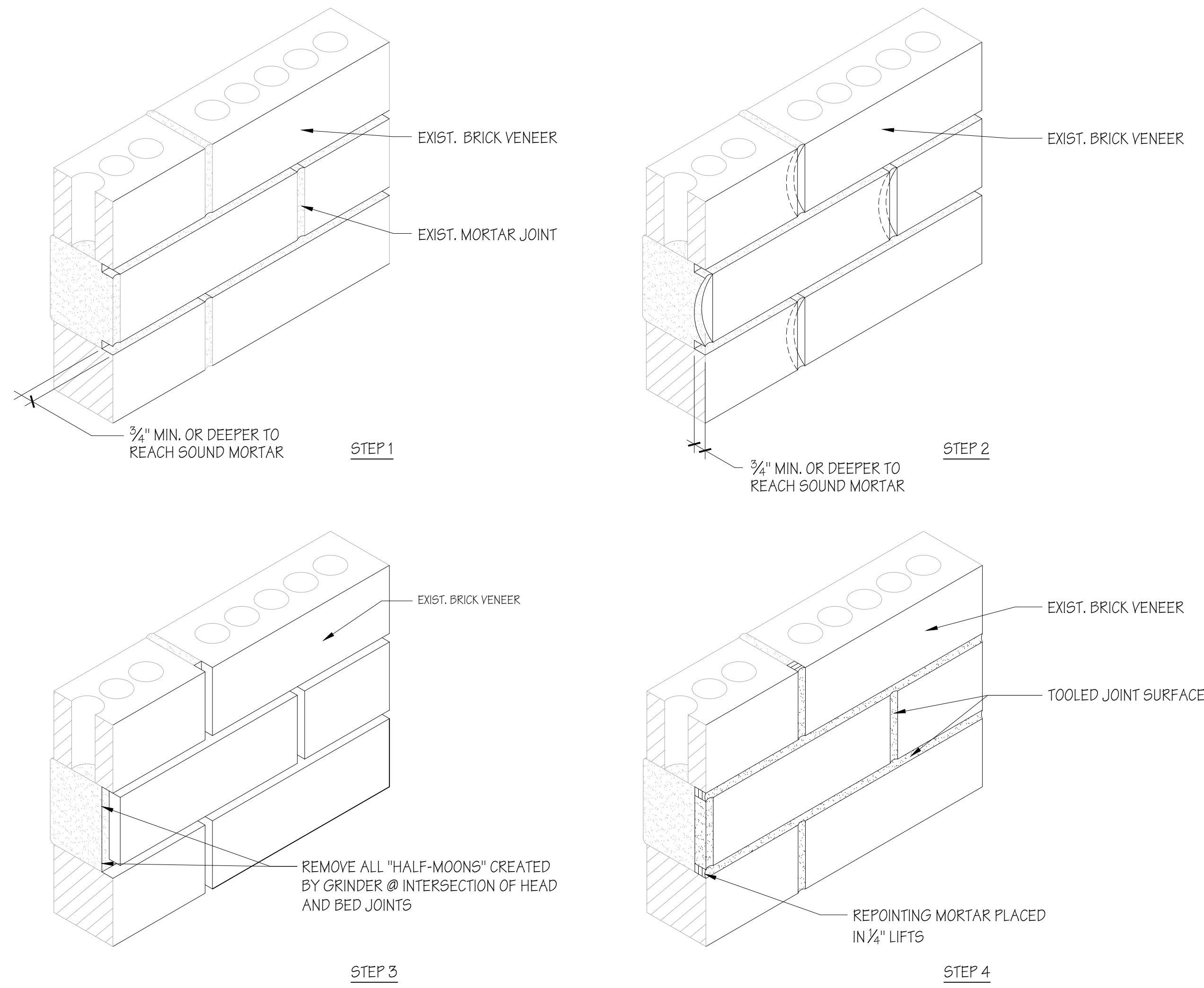


2 ENTRANCE PASSAGE WAY BASE OF WALL DETAIL
3" = 1'-0"

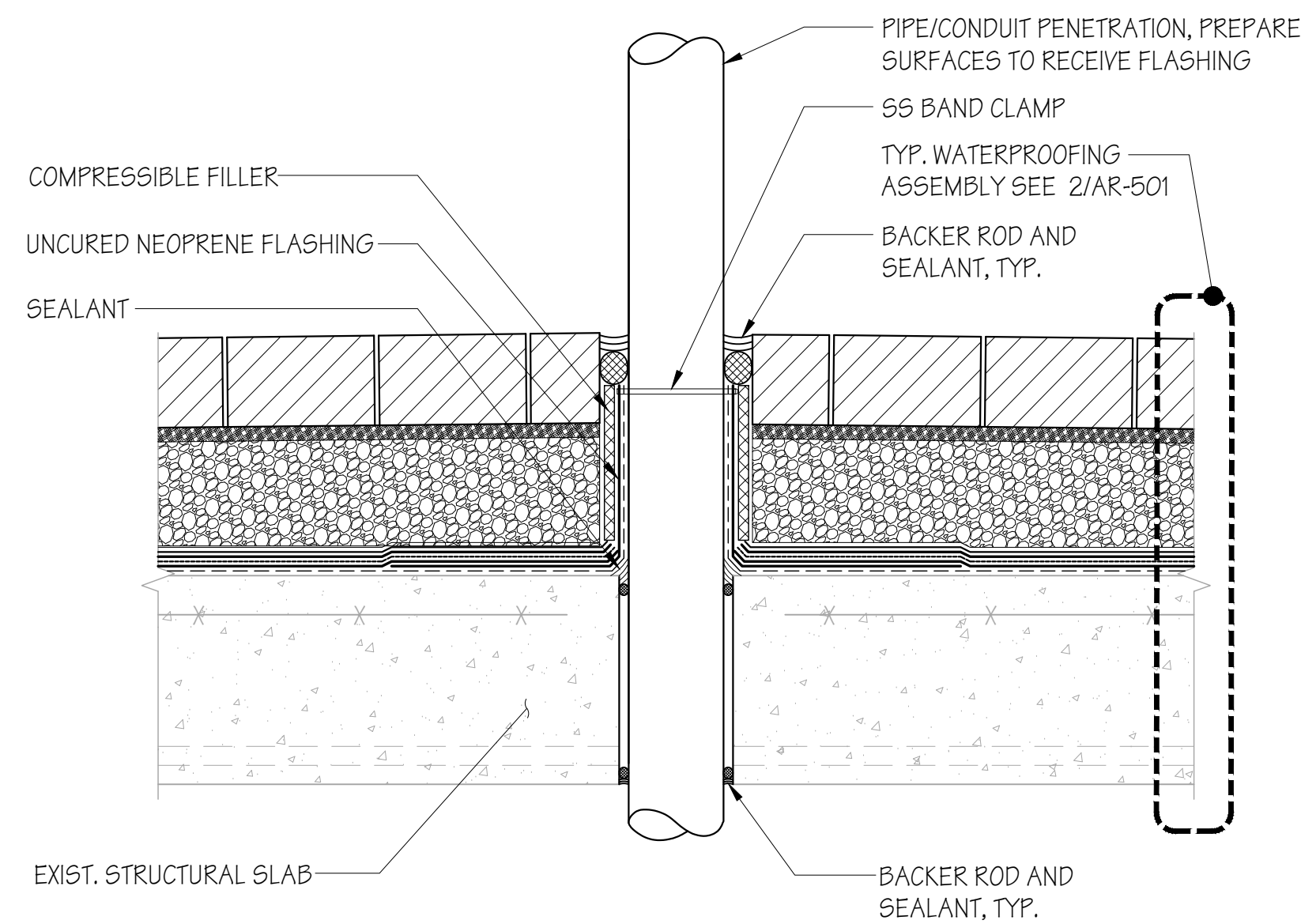


5 COPING DETAIL @ ENTRANCE LANDING
3" = 1'-0"

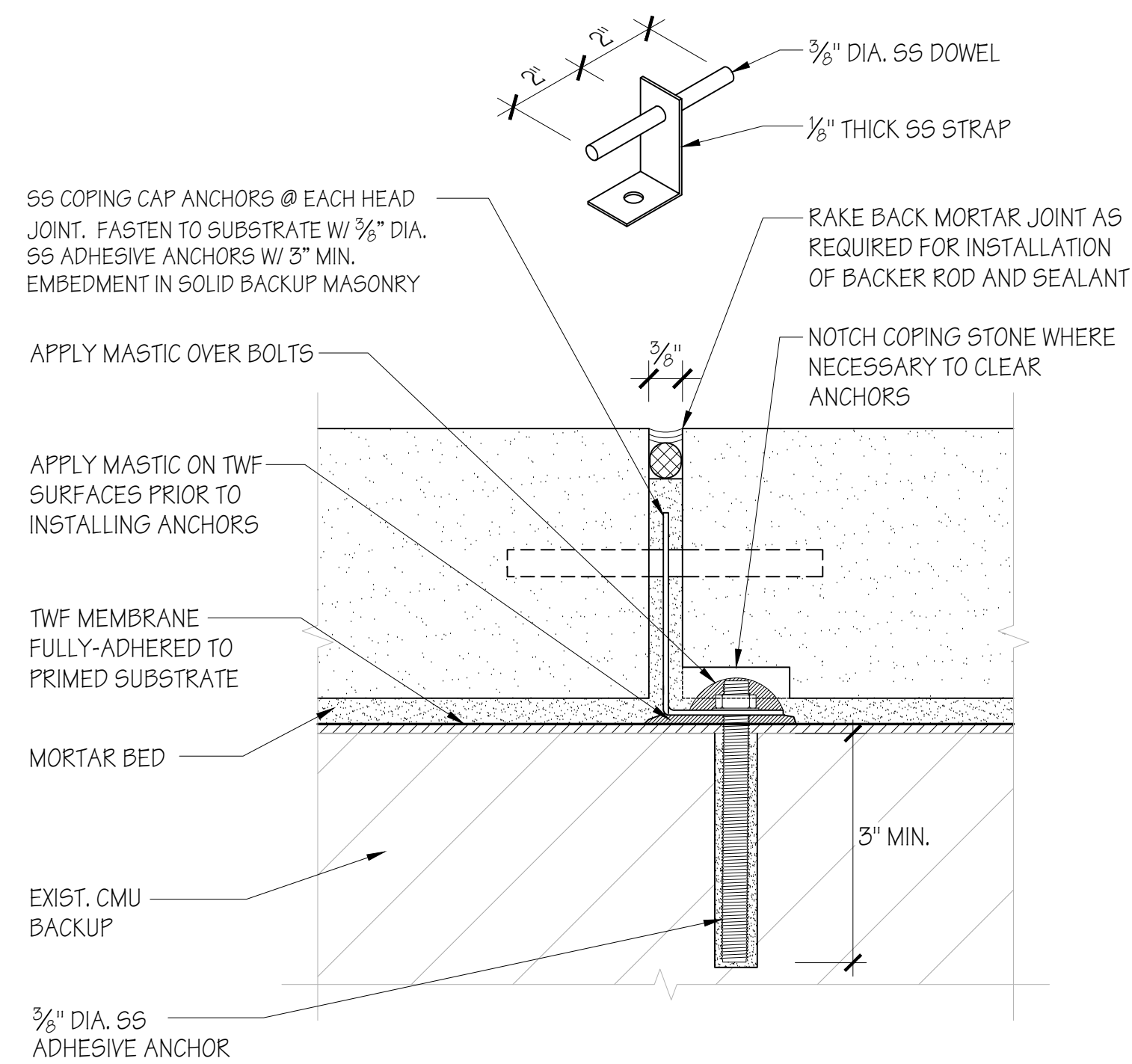
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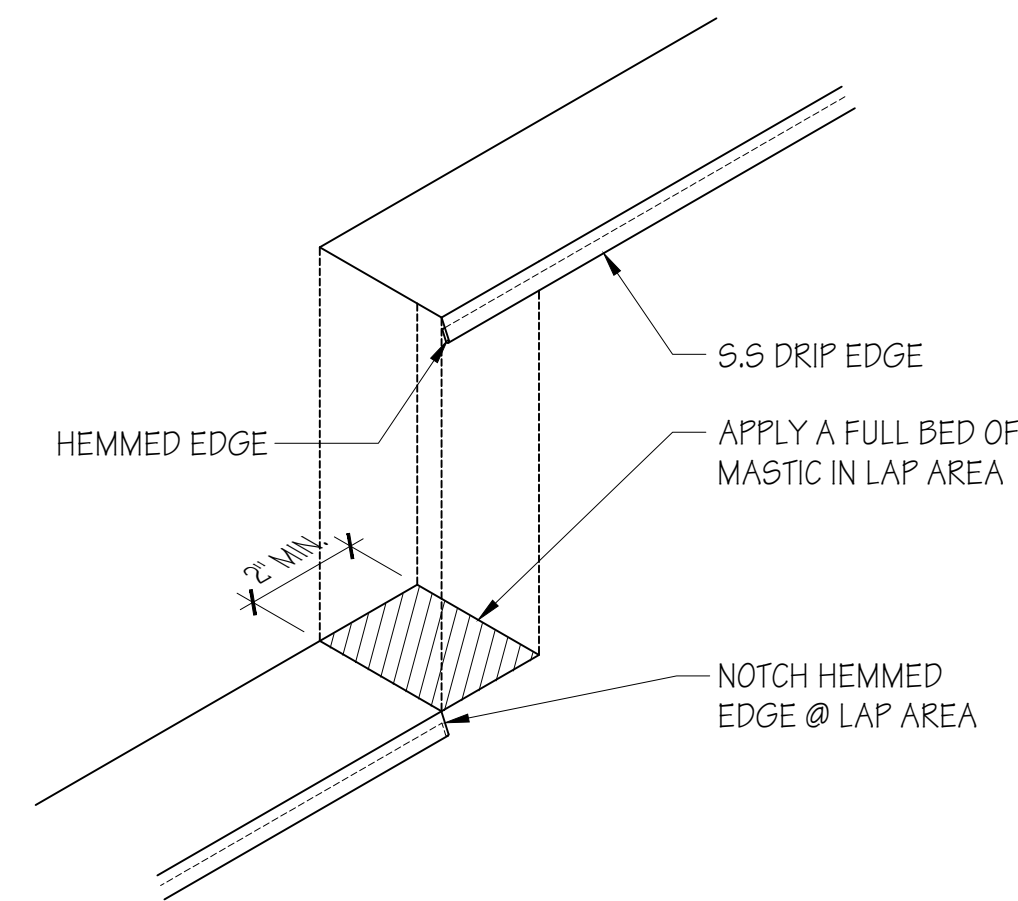
1 TYPICAL REPOINTING ISOMETRIC
NTS



2 TYPICAL SLAB PENETRATION
NTS



3 TYPICAL COPING JOINT DETAIL
6" = 1'-0"



4 TYPICAL DRIP EDGE LAP SPLICE
NTS



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