

Atrium on Commonwealth Phase 1 Facade Reclad



1079 COMMONWEALTH AVE
BOSTON, MA 02215

CONSTRUCTION DOCUMENTS

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ARCHITECT

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PROVIDED AS SUPPORTING DOCUMENTATION TO
IIBEC FOR EVALUATION OF 2024 EXCELLENCE IN
BUILDING ENCLOSURE CONSULTING AWARD.

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PROJECT NUMBER: 190653

GENERAL NOTES

- THESE GENERAL NOTES WILL APPLY TO ALL DRAWINGS AND SPECIFICATIONS, UNLESS OTHERWISE SPECIFICALLY NOTED.
- ALL OF THE WORK DELINEATED IN THESE DRAWINGS AND DEFINED IN THE SPECIFICATIONS IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS SPECIFICALLY NOTED.
- THE WORK DELINEATED IN THESE DRAWINGS AND DESCRIBED IN THE SPECIFICATIONS SHALL CONFORM TO ALL CODES, STANDARDS, & REGULATIONS THAT HAVE JURISDICTION IN THE STATE OF MASSACHUSETTS AND THE CITY OF BOSTON.
- ALL REQUIREMENTS & REGULATIONS PERTAINING TO THE HANDICAPPED & OSHA REGULATIONS MUST BE INCORPORATED IN THE WORK EVEN THOUGH THEY MAY NOT BE LISTED INDIVIDUALLY & SEPARATELY IN EITHER THE DRAWINGS OR THE SPECIFICATIONS. CONTRACTOR SHALL NOTARY ANY SUCH DEFICIENCIES & INCORPORATE THEM IN THE ORIGINAL, SUBMISSION AND NO.
- THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT AND ENGINEER OF ANY CONFLICT BETWEEN THE DRAWINGS AND THE SPECIFICATIONS PERTAINING TO THE WORK.
- ALL WORK DELINEATED IN THE DRAWINGS AND DEFINED IN THE SPECIFICATIONS WILL COMPLY WITH CURRENT FEDERAL, STATE, AND LOCAL BUILDING CODES AND REGULATIONS, TRADE STANDARDS, AND MANUFACTURER'S INSTRUCTIONS REFERENCED IN THE CONTRACT DOCUMENTS.
- EACH SUBCONTRACTOR WILL VISIT THE SITE TO ENSURE THEIR KNOWLEDGE OF THE CONDITIONS AFFECTING THE PROJECT AND THE CORRECT AWARD CONDITIONS. THE GENERAL CONTRACTOR WILL VISIT THE SITE TO ENSURE THEIR KNOWLEDGE OF THE CONDITIONS AFFECTING THE WORK.
- THE GENERAL CONTRACTOR WILL VERIFY & PROTECT ALL EXISTING UTILITIES AND EXISTING SITE FEATURES FROM DAMAGE.
- THE GENERAL CONTRACTOR IS FULLY RESPONSIBLE FOR COORDINATING THE WORK PERFORMED BY THE TRADES UNDER THEIR SUPERVISION.
- DETAILS AND SECTIONS ON DRAWINGS ARE SHOWN AT SPECIFIC LOCATIONS, DETAILS NOTED "TYP" OR "TYP." SHALL APPLY THAT ALL SIMILAR CONDITIONS BE TREATED SIMILARLY. THE GENERAL CONTRACTOR MAY MAKE MINOR VARIATIONS TO THE GENERAL DETAILS IN ORDER TO ADDRESS "TYP" OR "TYP." DETAILS. THE GENERAL CONTRACTOR WILL COORDINATE AND VERIFY VARIATIONS WITH THE ARCHITECT AND ENGINEER.
- MEASUREMENTS**
 - ALL DIMENSIONS ARE REFERENCED TO FINISHED FACE OF WALL UNLESS OTHERWISE NOTED.
 - DRAWINGS ARE NOT TO BE SCALED.
 - IDENTIFY ANY MISSING OR CONFLICTING VERTICAL DIMENSIONS WITH THE ARCHITECT AND ENGINEER PRIOR TO CONSTRUCTION.
 - NOTIFY THE ARCHITECT AND ENGINEER OF CONDITIONS WHERE CLEAR OR CRITICAL DIMENSIONS ARE DESIGNATED BUT CANNOT BE ACHIEVED.
 - MAINTAIN A SINGLE FINISH FLOOR BASE ELEVATION THROUGHOUT THE CONTRACT AREA SUCH THAT ALL DIMENSIONS INDICATED AS "ABOVE FINISHED FLOOR" ARE AT THE SAME ELEVATION.
- THE GENERAL CONTRACTOR SHALL MAINTAIN THE PERMANENT CLEAN AND FREE OF ALL TRASH AND DEBRIS THROUGHOUT THE PROJECT. THE ARCHITECT AND ENGINEER SHALL BE NOTIFIED OF ANY TRASH AND DEBRIS. ALL FURNITURE, EQUIPMENT, GLAZING, FLOOR, ETC. SHALL BE LIFTED AND READY FOR RE-INSTALLATION PRIOR TO THE COMPLETION OF THE PROJECT.
- WHEN IT IS NECESSARY TO INTERRUPT ANY EXISTING UTILITY SERVICE, A MINIMUM OF 48 HOURS ADVANCE NOTICE SHALL BE GIVEN TO THE OWNER. INTERRUPTIONS IN UTILITY SERVICES SHALL BE OF THE SHORTEST POSSIBLE DURATION FOR THE WORK AT HAND AND SHALL BE APPROVED IN ADVANCE BY THE OWNER.
- CONSTRUCTION OPERATIONS ARE NOT ALLOWED TO BLOCK ANY MEANS OF EGRESS.
- ALL MANUFACTURER'S PRINTED WARNINGS FOR HANDLING OF PRODUCTS MUST BE STRICTLY OBSERVED.
- MATERIALS AND PRODUCTS INDICATED ON THE DRAWINGS ARE TO BE NEW, UNLESS OTHERWISE NOTED. THE ARCHITECT AND ENGINEER WILL PROVIDE A SCHEDULE OF SALVAGED ITEMS, IF ANY, THAT ARE TO BE RE-USED ON THIS PROJECT.
- TEMPERED GLASS TO BE USED IN ANY LOCATIONS REQUIRED BY CODE.
- THE GENERAL CONTRACTOR WILL REVIEW THE PARTITION LAYOUT IN THE FIELD WITH THE OWNER, ARCHITECT, AND ENGINEER PRIOR TO THE START OF CONSTRUCTION.

ARCHITECTURAL DEMOLITION NOTES

- THE DEMOLITION REQUIREMENTS CONSISTS OF THESE GENERAL NOTES, THE FOLLOWING DEMOLITION DRAWINGS, AND APPLICABLE PROJECT SPECIFICATIONS. THE DEMOLITION DRAWINGS HAVE BEEN COMPILED FROM THE BEST AVAILABLE INFORMATION AND ARE NOT INTENDED TO LIMIT THE SCOPE OF WORK. IT WILL BE ASSUMED THAT THE CONTRACTOR HAS INSPECTED THE SITE PRIOR TO DEMOLITION AND VERIFIED THE INFORMATION GIVEN.
- INTENT IS TO REMOVE EVERYTHING NECESSARY TO ALLOW NEW CONSTRUCTION TO BE ACCOMPLISHED. SEE DRAWINGS SHOWING PROPOSED NEW CONSTRUCTION.
- ASSEMBLES, ELEMENTS AND SYSTEMS TO BE DEMOLISHED ARE SHOWN ON PLANS WHERE A DISCREPANCY EXISTS, CONSULT WITH ARCHITECT AND ENGINEER PRIOR TO PROCEEDING.
- PRIOR TO CARRYING OUT DEMOLITION WORK, ALL EXISTING FURNITURE SHALL BE EXPOSED. ARCHITECT / ENGINEER SHALL BE NOTIFIED FOR INSPECTION OF EXISTING CONDITIONS. REMOVAL OF EXISTING SUPPORTS FOR REMAINING FLOOR FRAMING OF THESE MEMBERS AND ADDITION OF NEW BEAMS AND POSTS AS REQUIRED BY STRUCTURAL ENGINEER. GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY SHORING AND BRACING AND SHALL CARRY OUT ALL NECESSARY WORK REQUIRED BY EXISTING FIELD CONDITIONS.
- REMOVE AND LEGALLY DISPOSAL OF THE FOLLOWING UNLESS OTHERWISE NOTED: ALL CEILING, CEILING, FURNITURE, FIXED OR REMOVABLE EQUIPMENT, PIPING, PLUMBING, CONDUIT, LOOSE FINISH MATERIALS, DOORS, FRAMES, WINDOWS, PARTITIONS, STAIRS AND ELEVATOR AS SHOWN ON DRAWINGS, UNLESS OTHERWISE NOTED.
- ALL EXISTING WALLS AND CEILING TO BE STRIPPED BACK TO ROUGH FRAMING, UNLESS OTHERWISE NOTED.
- REMOVE ALL FLOOR AREAS AND STRUCTURE WHERE NOTED ON DRAWINGS.
- LOCATION OF NEW OPENINGS ARE SHOWN ON DRAWINGS.
- NO NEW MASONRY OPENINGS ARE TO BE MADE OR STRUCTURE REMOVED PRIOR TO NOTIFYING STRUCTURAL ENGINEER.
- IN AREAS WHERE EXISTING CONCRETE OR MASONRY WORK IS REQUIRED TO BE CUT, CUTTING SHALL BE DONE BY ABRAASIVE WELLS, OR CORNING, NO JACHAMMERS WILL BE ALLOWED ON THESE AREAS UNLESS APPROVED BY THE ARCHITECT AND ENGINEER.
- DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS AS REQUIRED.
- PROVIDE RAILS AND OTHER PROTECTIONS REQUIRED BY OSHA AND THE COMMONWEALTH OF MASSACHUSETTS STATE BUILDING CODE.
- ALL WORK NOTED TO BE REMOVED, CUT DOWN OR DISMANTLED SHALL BE DONE IN SUCH A MANNER AS TO MAINTAIN THE INTEGRITY OF THE EXISTING STRUCTURE.
- PROTECT EXISTING FINISHES, TRIM AND FIXTURES TO REMAIN: 1. WOOD FLOORS, RUNNING TRIM, DECK, HANDRAILS, ETC.
- THE DEMOLITION CONTRACTOR SHALL HAVE THE SOLE RESPONSIBILITY OF VERIFYING CONDITIONS AT THE JOB TO PROVIDE FOR A SAFE AND ORDERLY PERFORMANCE OF THE WORK.
- UNDER NO CIRCUMSTANCES SHALL ANY EXISTING FOUNDATION BE UNDERMINED OR ANY STRUCTURAL MEMBER ALTERED IN ANY WAY THAT WOULD ADVERSELY AFFECT THE EXISTING WORK TO REMAIN.
- WORK UNDER THIS CONTRACT SHALL BE THE FULL RESPONSIBILITY FOR THE DEMOLITION CONTRACTOR, AND IN ANY CASE, DIRECTION OR REVIEW OF ANY SYSTEM OR METHOD BY THE ARCHITECT OR ENGINEER SHALL CHANGE OR EFFECT THE CONTRACTOR'S RESPONSIBILITY IN THIS MATTER.
- REFER TO MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION DOCUMENTS FOR ADDITIONAL DEMOLITION NOTES AND SCOPE OF WORK.
- CAP IN ACCORDANCE WITH CODE, ALL ABANDONED PLUMBING, GAS & ELECTRICAL LINES, ETC.
- CONTRACTOR SHALL PROVIDE BARRICADES AND OTHER FORMS OF PROTECTION NECESSARY TO PROTECT BUILDING OCCUPANTS AND GENERAL PUBLIC FROM INJURY DUE TO DEMOLITION WORK.
- ANY CONDITION TEMPORARILY MODIFIED OR REMOVED SHALL HAVE THE EXISTING CONDITION DOCUMENTED SO THAT IT CAN BE RESTORED TO ORIGINAL CONDITION AFTER WORK IS COMPLETE.
- REPAIR EXISTING FLOOR BOARDINGS AS REQUIRED TO PREP FOR NEW FLOORING. SCOPE MAY INCLUDE CUTTING AND REMOVING EXISTING PORTIONS, RE-FASTENING BOARDS AND PATCHING SUBSTRATE WITH PLYWOOD AS REQUIRED.
- DEMOLITION FOR SHAFT OPENINGS ON ALL FLOORS SHALL BE COORDINATED, REVIEWED AND APPROVED WITH THE INTERIOR DESIGN TEAM.

STRUCTURAL GENERAL NOTES

- ELEVATIONS AND DIMENSIONS**
- EXISTING DIMENSIONS: EXISTING DIMENSIONS ARE TAKEN FROM AVAILABLE REFERENCE PLANS AND ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR. AS APPROPRIATE, PRIOR TO FABRICATION OF MEMBERS, THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT / ENGINEER PRIOR TO PROCEEDING WITH WORK.
- BUILDING CODE AND STANDARD SPECIFICATIONS**
- INTERNATIONAL BUILDING CODE 2015 WITH MASSACHUSETTS AMENDMENTS (5TH EDITION).
 - ADDITIONAL 7-10. MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES
 - ASCI 314-14 BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE
 - ASCI 360-10 SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS
 - AWS D1.1 2015 STRUCTURAL WELDING CODE - STEEL
- DESIGN LOADS FOR CLADDING COMPONENTS**
- DEAD LOADS
 - ALL PERMANENT STATUTORY CONSTRUCTION
 - WIND LOAD PARAMETERS
 - WIND SPEED (3 SECOND GUST) V_{50} 120 MPH
 - WIND EXPOSURE B
 - WIND DIRECTION ALL
 - ADDITIONAL DESIGN WIND PRESSURE (COMPONENTS & CLADDING) 22 PSF
- DEFLECTION CRITERIA**
- TYPICAL FLOOR LIVE LOAD DEFLECTION Δ SPAN/160
 - TYPICAL STEEL WIND LOAD DEFLECTION Δ SPAN/160

ABBREVIATIONS

A AND	E EAST	LH LEFT HAND	R RADIUS
B @	E TO B END	L.H. LEFT HAND REVERSE	R.B. RUBBER BASE
C CENTERLINE	E.B. EXPANSION BOLT	L.V. LIVE LOAD	R.D. ROOF DRAIN
D EXISTING	E.P. ELECTRICAL PANEL	L.P. LOW POINT	R.H. RIGHT HAND
E FEET	E.E. ELECTRICAL PANEL	L.W.C. LIGHT WEIGHT CONCRETE	R.H.R. RIGHT HAND REVERSE
F NUMBER	E.P. ELECTRICAL PANEL	L.A. LAMINATE	R.O. ROAD
G NUMBER	E.T. EXISTING TO REMAIN	L.V. LAVATORY	R.O. ROAD
H PERCENT	E.FS. EXTERIOR INSULATION & FINISHES	L.L. LOCKER	REC RECEPTACLE
I INCHES	E.E. EXTERIOR INSULATION & FINISHES	L.L. LOCKER	REF REFERENCE
J JOINT	E.E. EXTERIOR INSULATION & FINISHES	L.L. LOCKER	REF REFRIGERATOR
K JOINT	E.E. EXTERIOR INSULATION & FINISHES	L.L. LOCKER	REQ REQUIRED
L JOINT	E.E. EXTERIOR INSULATION & FINISHES	L.L. LOCKER	RES RESISTANT
M JOINT	E.E. EXTERIOR INSULATION & FINISHES	L.L. LOCKER	
N JOINT	E.E. EXTERIOR INSULATION & FINISHES	L.L. LOCKER	
O JOINT	E.E. EXTERIOR INSULATION & FINISHES	L.L. LOCKER	
P JOINT	E.E. EXTERIOR INSULATION & FINISHES	L.L. LOCKER	
Q JOINT	E.E. EXTERIOR INSULATION & FINISHES	L.L. LOCKER	
R JOINT	E.E. EXTERIOR INSULATION & FINISHES	L.L. LOCKER	
S JOINT	E.E. EXTERIOR INSULATION & FINISHES	L.L. LOCKER	
T JOINT	E.E. EXTERIOR INSULATION & FINISHES	L.L. LOCKER	
U JOINT	E.E. EXTERIOR INSULATION & FINISHES	L.L. LOCKER	
V JOINT	E.E. EXTERIOR INSULATION & FINISHES	L.L. LOCKER	
W JOINT	E.E. EXTERIOR INSULATION & FINISHES	L.L. LOCKER	
X JOINT	E.E. EXTERIOR INSULATION & FINISHES	L.L. LOCKER	
Y JOINT	E.E. EXTERIOR INSULATION & FINISHES	L.L. LOCKER	
Z JOINT	E.E. EXTERIOR INSULATION & FINISHES	L.L. LOCKER	

DRAWING LIST

SHEET NO.	COVER SHEET	SHEET NAME	DATE
01-001	DRAWING LIST, NOTES, ABBREVIATIONS, TYP. SYMBOLS & MOUNTING HEIGHTS		04.16.16 - CO SET
01-002	CODE ANALYSIS		
01-003	FLOOR PERCENTAGE OPENING		
ARCHITECTURAL DEMOLITION			
A01-101	DEMOLITION OVERALL PLAN - LEVEL 1		
A01-102	DEMOLITION OVERALL PLAN - LEVEL 2		
A01-103	DEMOLITION PLAN & RCP PART B - LEVEL 1		
A01-104	DEMOLITION PLAN & RCP PART B - LEVEL 2		
A01-105	DEMOLITION PLAN & RCP PART A - LEVEL 1		
A01-106	DEMOLITION PLAN & RCP PART A - LEVEL 2		
A01-107	DEMOLITION PLAN & RCP PART A - LEVEL 3		
A01-108	DEMOLITION PLAN & RCP PART B - LEVEL 3		
A01-109	DEMOLITION PLAN & RCP PART B - LEVEL 4		
A01-110	DEMOLITION PLAN & RCP PART A - LEVEL 4		
A01-111	DEMOLITION PLAN & RCP PART A - LEVEL 5		
A01-112	DEMOLITION PLAN & RCP PART A - LEVEL 6		
A01-113	DEMOLITION PLAN & RCP PART A - LEVEL 7		
A01-114	DEMOLITION PLAN & RCP PART A - LEVEL 8		
A01-115	DEMOLITION OVERALL PLAN - LEVEL 5L		
A01-116	DEMOLITION OVERALL PLAN - LEVEL 6L		
A01-117	DEMOLITION OVERALL PLAN - LEVEL 7L		
A01-118	DEMOLITION PLAN & RCP PART A - LEVEL 5L		
A01-119	DEMOLITION PLAN & RCP PART A - LEVEL 6L		
A01-120	DEMOLITION PLAN & RCP PART A - LEVEL 7L		
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A01-427	DEMOLITION ELEVATION PART A EAST		

CODE SUMMARY

PROJECT OVERVIEW
Modification of exterior wall cladding at 8 floors of an existing building. Scope area consists of approximately 1/4 of the building and includes renovations at 1st floor retail and upper floor residential units. Units in scope area will not be occupied and spaces will be maintained for adjacent units. The building is fully operational and will remain operational during construction.

PROJECT LOCATION
Name: Exterior Re-Clad
Scope Location: Exterior building envelope and associated interior modifications
Address: 1079 Commonwealth Avenue - Boston, MA 02215

BUILDING METRICS
Building: Existing
Lot Size: 84,958 sq ft
Height: Varies
Construction Type: Type 2A
Max Floor Gross Area: 75,000 sq ft
Number of Stories: 5
Total Building Area: 293,726 sq ft
Area by Floor:
Floor #1 = 75,600 sq ft, does not include 11,050 sq ft of paver courtyard
Floor #2 = 84,500 sq ft
Floor #3 = 84,500 sq ft
Floor #4 = 84,500 sq ft
Floor #5 = 24,626 sq ft
Zoning: CO-2
Primary Use: R-2 (2nd Floor thru 5th Floor)
Secondary Use: M (1st Floor only)

EXISTING BUILDING COMPLIANCE METHODOLOGY (IEBC 2015)
Methodology: Section 301.1 General
Alterations Level 1: Alterations in the areas identified as Alterations Level 1 comply with the provisions of Chapter 9.
Alterations Level 2: The Work Area of this project consists of less than 50% of the aggregate area of the building. Areas of work identified as Alterations Level 2 comply with the provisions of Chapter 7 as well as the provisions of Chapter 9.
Alterations Level 3: The Work Area of this project consists of greater than 50% of the aggregate area of the building. The Building and the Area of work identified as Alterations Level 3 comply with the provisions of Chapters 7 and 9, as well as the provisions of Chapter 9.
Typical Work Area Assumptions: The Work Area on each floor assumes most of the work will be done from the exterior side of the building envelope. A portion of the work may require access from the interior side which has an assumed work zone of 10' deep. This creates a total work area of approximately 4,375 sq ft per floor level.

APPLICABLE CODES
Building Code: 780 CMR: Massachusetts State Building Code (9th Edition) (International Building Code 2015 (IBC), amended)
Existing Building Code: Chapter 24: 780 CMR: Massachusetts State Building Code (9th Edition) (International Existing Building Code 2015 (IEBC), amended)
Fire Prevention Code: 807 CMR: Massachusetts Fire Prevention Regulations
Accessibility: 827 CMR: Massachusetts Architectural Access Board Rules and Regulations (MABR) ADA: Americans with Disabilities Act (Standards for Accessibility Design - 2010)
Elevator Code: 504 CMR: Massachusetts Elevator Regulations
Plumbing Code: 248 CMR: Massachusetts Fuel Gas and Plumbing Code
Electric Code: 827 CMR: Massachusetts Electrical Code (2011 National Electrical Codes, amended)
Mechanical Code: 2009 International Mechanical Code (IMC)
Energy Code: Chapter 13: 780 CMR: Massachusetts State Building Code (9th Edition) (International Energy Conservation Code 2015(IECC), amended)
Stretch Code: Verify if applicable

CODE COMPLIANCE PLAN

EMERGENCY EVACUATION NARRATIVE

Occupants located outside the project areas on each floor shall evacuate via egress routes maintained through the existing corridors.

Star #1 will remain in use and continue to serve the areas not involved in construction.
Star #2 will remain in use and continue to serve the areas not involved in construction.
Star #3 continues to the ground level and discharges through the building lobby to the outside.
Star #5 continues to the ground level and discharges directly to the outside via a discharge corridor through the existing garage.


Number of exits required = 2
Number of exits provided = 4

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CONSULTANT INFORMATION
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[illegible]

A key plan diagram showing the layout of the site. It includes a rectangular building footprint with an internal courtyard, a parking area to the right, and a road to the bottom. The plan is labeled 'KEY PLAN' at the top.

PROJECT NORTH	STAMP
	
DATE: _____ 04.16.2021	
SCALE: _____ As Indicated	
DRAWN BY: _____ CLJ/BNT	
PROJECT NUMBER: _____ 190653	
DRAWING TITLE	
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DRAWING NUMBER	
<h1 style="margin: 0;">G1-002</h1>	

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BOSTON, MA 02215

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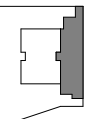
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KEY PLAN



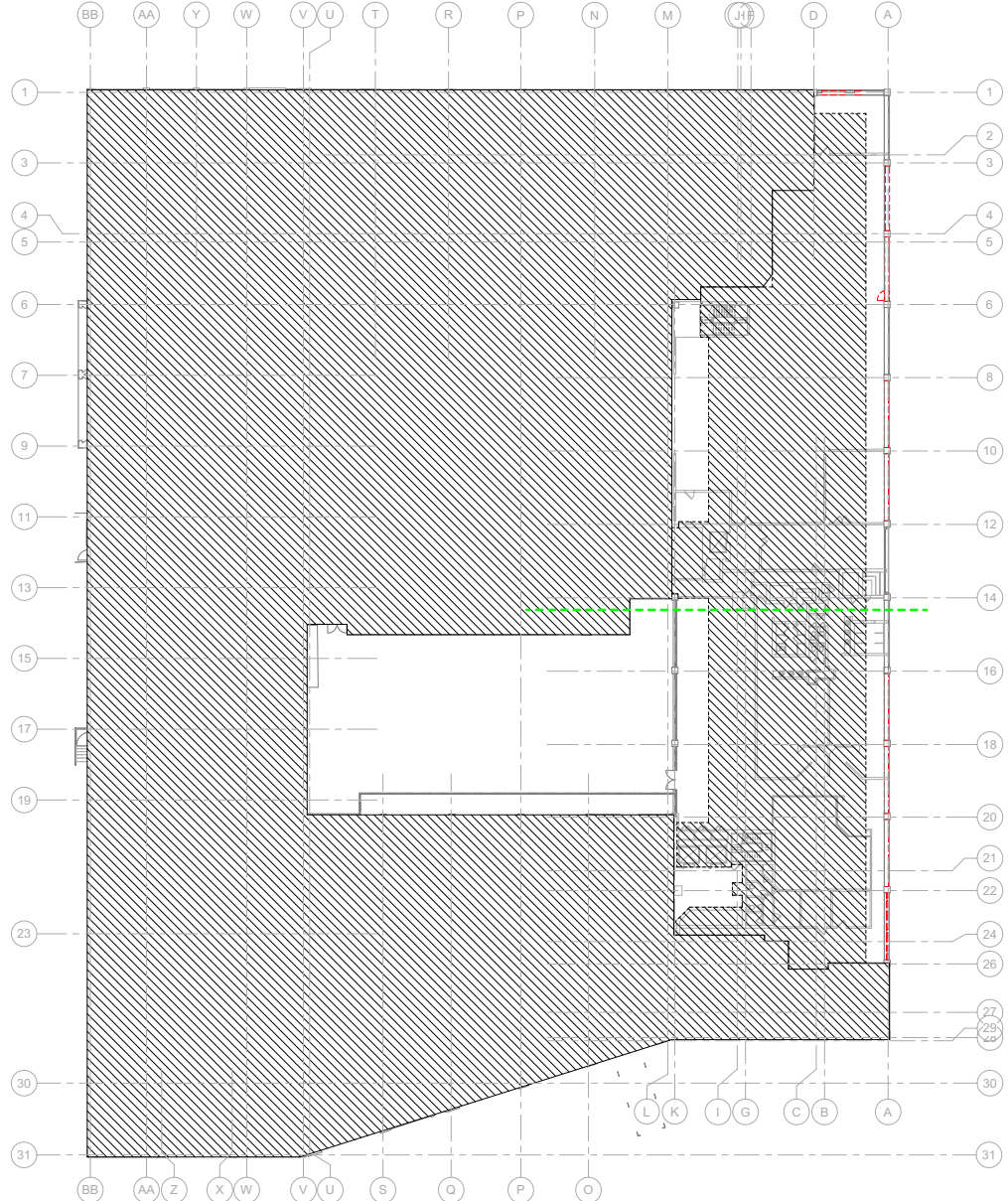
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PROJECT NUMBER: 190653
DRAWING TITLE
DEMOLITION OVERALL
PLAN LEVEL 1

AD1-101

DRAWING NUMBER
**CONSTRUCTION
DOCUMENTS**



PHASE 1 OVERALL DEMO PLAN - LEVEL 1
SCALE: 1/16" = 1'-0"

DEMOLITION CEILING LEGEND	
	EXISTING GWB CEILING TO REMAIN
	EXISTING GWB CEILING TO BE REMOVED
	EXISTING OPEN BAFFLE CEILING TO BE REMOVED
	EXISTING CEILING PLANKS & ASSOCIATED LIGHT GAUGE METAL FRAMING TO BE REMOVED
TYPICAL SYMBOL NOMENCLATURE	
	DEMO - SALVAGE FOR REUSE
	EXISTING LIGHT FIXTURE TO REMAIN
	EXISTING LIGHT FIXTURE TO BE REMOVED

DEMOLITION PLAN LEGEND	
	EXISTING PARTITION TO BE REMOVED
	EXISTING PARTITION TO REMAIN
	EXISTING FLOOR FINISH TO BE REMOVED
	EXISTING DOOR TO BE REMOVED
	EXISTING DOOR TO REMAIN
	EXISTING TOPPING SLAB TO BE REMOVED

KEYNOTE LEGEND - DEMOLITION	
NOTE #	DEMO NOTE
1	REMOVE WALLS COORDINATE W/ NEW CONSTRUCTION DWGS.
2	REMOVE CEILING SPRINKLER, DIFFUSERS & OTHER CEILING APPURTENANCES
3A	REMOVE LIGHTING TO BE REPLACED IN KIND
3	REMOVE FRESH FLOORING & ADHESIVE AS INDICATED ON DWGS
4	REMOVE DOOR ASSEMBLY & ASSOCIATED EXTERIOR WALL FINISHES
4A	REMOVE DOOR(S) & FRAME(S) REPLACE BOTH & ASSOCIATED HARDWARE IN KIND WITH NEW, LOOKING WINNER
5	REMOVE WINDOW ASSEMBLY & ASSOCIATED EXTERIOR WALL FINISHES
6	REMOVE CORING STONE
7	REMOVE EPS (AND METAL STUD BACK-UP WALL WHERE APPLICABLE)
7A	REMOVE EPS
7B	REMOVE EIFS/CLADDING ENGINEER TO INSPECT EXIST WALL STRUCTURE, INSTALL NEW CLADDING OVER EXIST WALLS
8	REMOVE BRICK AND EXISTING MORTAR
9	REMOVE STEEL BEVELING ANGLE
10	REMOVE BALCONY GUARD
11	REMOVE CRACKED/DENEGED CONCRETE TOPPING
12	REMOVE EXIST WATERPROOFING
13	REMOVE AREAS OF LOOSE EXIST COATINGS FROM CONCRETE
14	REMOVE EXISTING FINISH BACK TO STONE / CONCRETE FACE AT VERTICAL PIERS
15	REMOVE EXISTING FINISH BACK TO STONE / CONCRETE FACE AT VERTICAL PIERS
16	REMOVE EXISTING FINISH BACK TO STONE / CONCRETE FACE AT VERTICAL PIERS
17	REMOVE METAL DIVIDER SCREEN
18	REMOVE LOCKER & ASSOCIATED STRUCTURE

REFER TO SHEET AD1-101 FOR DEMOLITION NOTES

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781.807.8000
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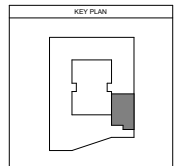
CLIENT INFORMATION

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NO	DESCRIPTION	DATE

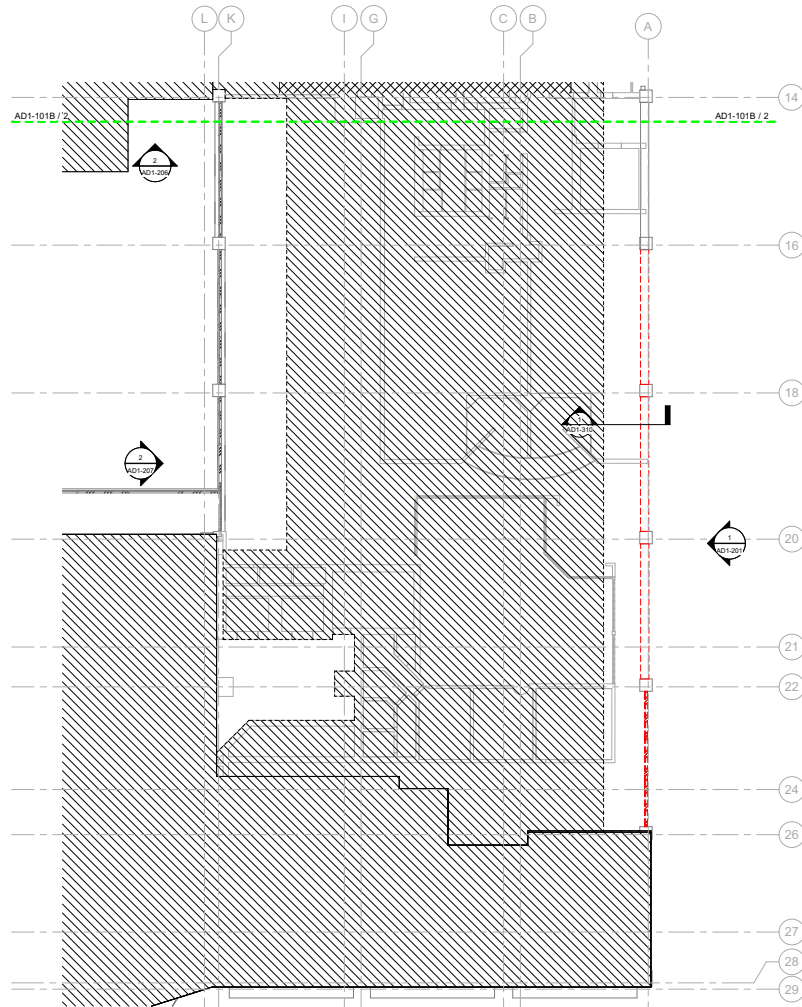


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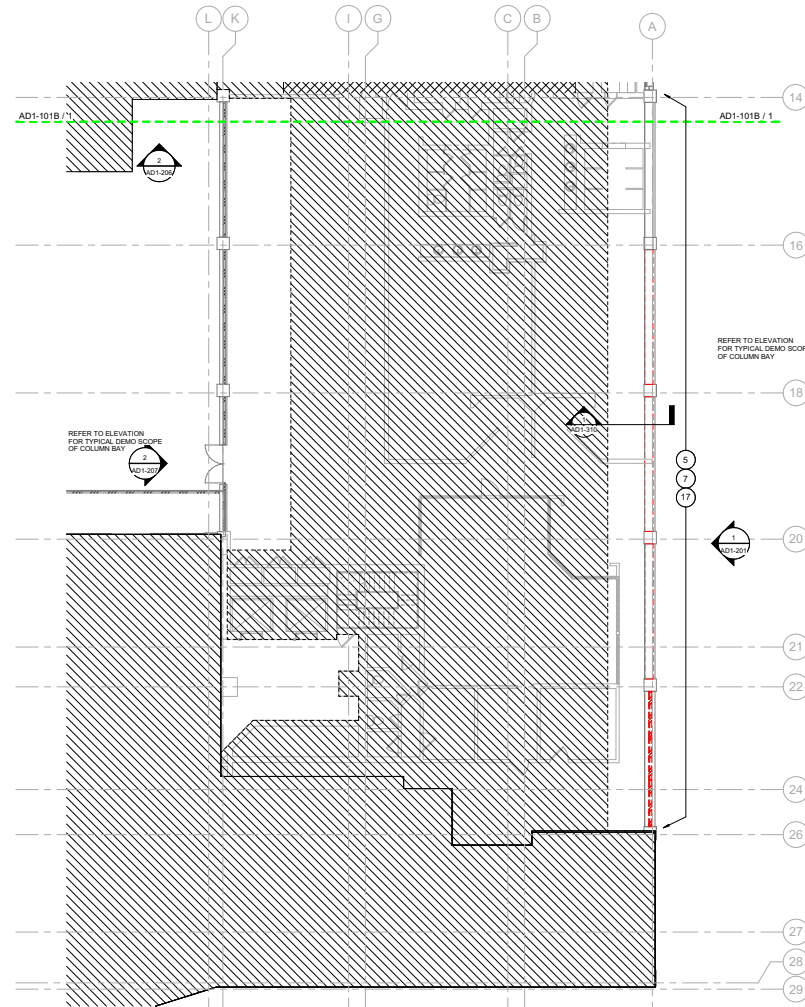
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PROJECT NUMBER: 190653
DRAWING TITLE
DEMOLITION PLAN &
RCP PART A - LEVEL 1

AD1-101A

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CONSTRUCTION DOCUMENTS



DEMOLITION PART RCP A - LEVEL 1
SCALE: 1/8" = 1'-0"



DEMOLITION PART PLAN A - LEVEL 1
SCALE: 1/8" = 1'-0"

DEMOLITION CEILING LEGEND

EXISTING GWB CEILING TO REMAIN	TYPICAL SYMBOL NOMENCLATURE
EXISTING GWB CEILING TO BE REMOVED	XR DEMO DEVICE
EXISTING OPEN BAFFLE CEILING TO BE REMOVED	DEM SALVAGE FOR REUSE
EXISTING CEILING PLANKS & ASSOCIATED LIGHT GAUGE MTL FRAMING TO BE REMOVED	EXISTING LIGHT FIXTURE TO REMAIN
	EXISTING LIGHT FIXTURE TO BE REMOVED

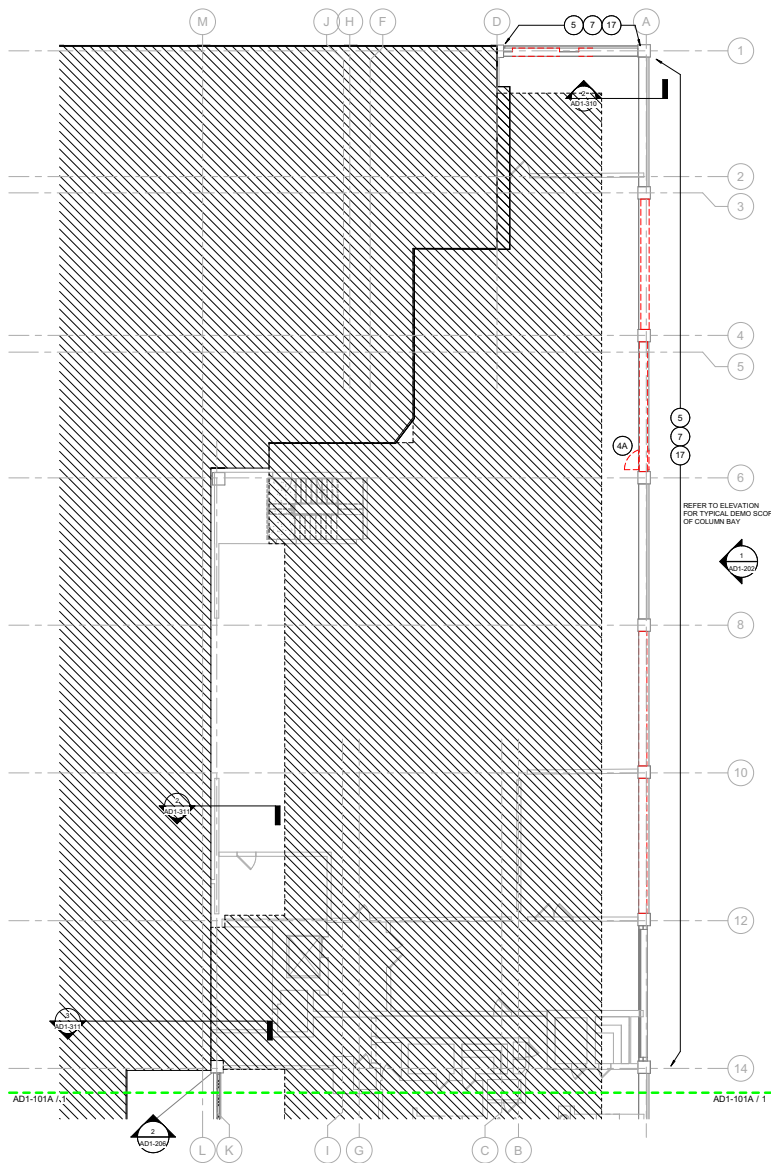
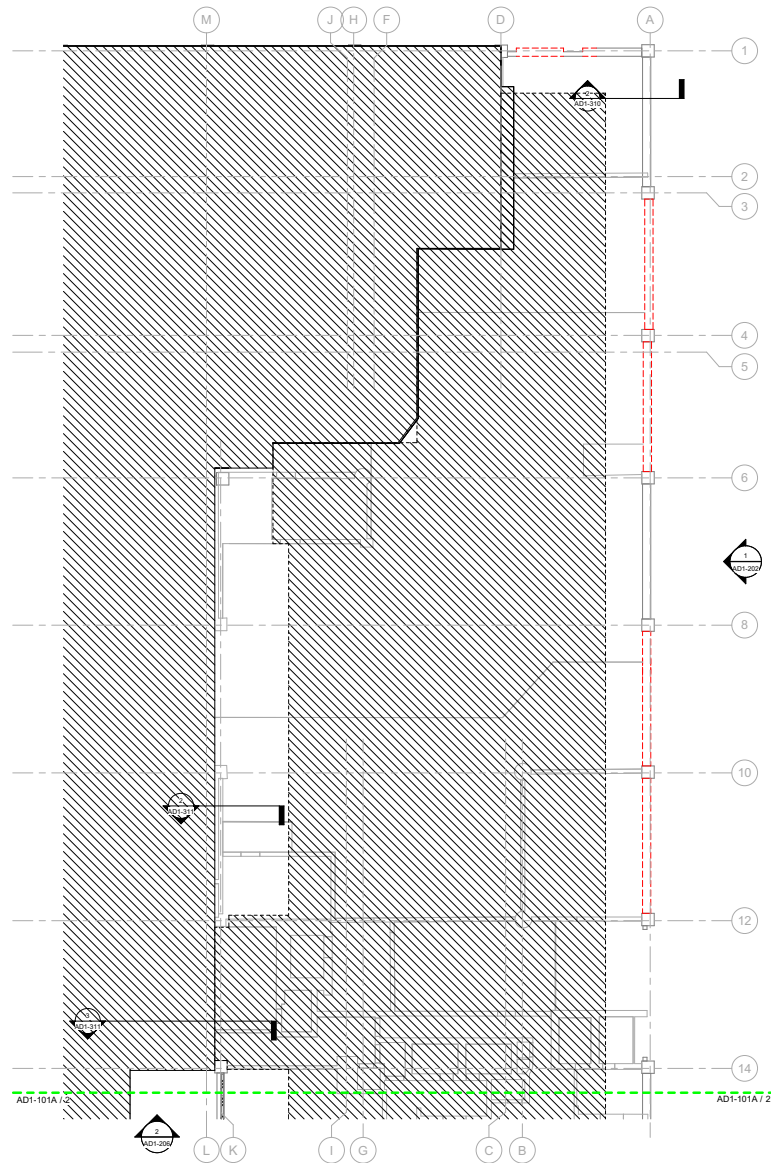
DEMOLITION PLAN LEGEND

EXISTING PARTITION TO BE REMOVED	EXISTING DOOR TO BE REMOVED
EXISTING PARTITION TO REMAIN	EXISTING DOOR TO REMAIN
EXISTING FLOOR FINISH TO BE REMOVED	EXISTING TOPPING SLAB TO BE REMOVED

KEYNOTE LEGEND - DEMOLITION

NOTE #	DEMO NOTE
1	REMOVE WALLS COORDINATE W/ NEW CONSTRUCTION DWGS.
2	REMOVE CEILING SPRINKLER, DIFFUSERS & OTHER CEILING APPURTENANCES
2A	REMOVE LIGHTING TO BE REPLACED IN KIND
3	REMOVE FRESH FLOORING & ADHESIVE AS INDICATED ON DWGS
4	REMOVE DOOR ASSEMBLY & ASSOCIATED EXTERIOR WALL FINISHES
4A	REMOVE DOOR(S) & FRAME(S) REPLACE BOTH & ASSOCIATED HARDWARE IN KIND WITH NEW, LOCKING WINNER
5	REMOVE WINDOW ASSEMBLY & ASSOCIATED EXTERIOR WALL FINISHES
6	REMOVE CORING STONE
7	REMOVE EPS (AND METAL STUD BACKUP WALL WHERE APPLICABLE)
7A	REMOVE EPS
7B	REMOVE EIFS/CLADDING ENGINEER TO INSPECT EXIST WALL STRUCTURE, INSTALL NEW CLADDING OVER EXIST WALLS
8	REMOVE BRICK AND EXISTING MORTAR
9	REMOVE STEEL REINFORCING ANGLE
10	REMOVE BALCONY GUARD
11	REMOVE CRACKED DEBRIDGED CONCRETE TOPPING
12	REMOVE EXIST WATERPROOFING
13	REMOVE AREAS OF LOOSE EXIST COATINGS FROM CONCRETE
14	REMOVE EXISTING FINISH BACK TO STONE / CONCRETE FACE AT VERTICAL PIERS
15	REMOVE EXISTING FINISH BACK TO STONE / CONCRETE FACE AT VERTICAL PIERS
16	REMOVE METAL DIVIDER SCREEN
17	REMOVE COVER & ASSOCIATED STRUCTURE

REFER TO SHEET AD1-101 FOR DEMOLITION NOTES



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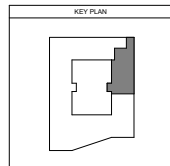
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PROJECT NUMBER: 190693
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DEMOLITION PLAN &
RCP PART B - LEVEL 1

AD1-101B

DRAWING NUMBER
CONSTRUCTION
DOCUMENTS

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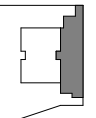
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KEY PLAN



PROJECT NORTH

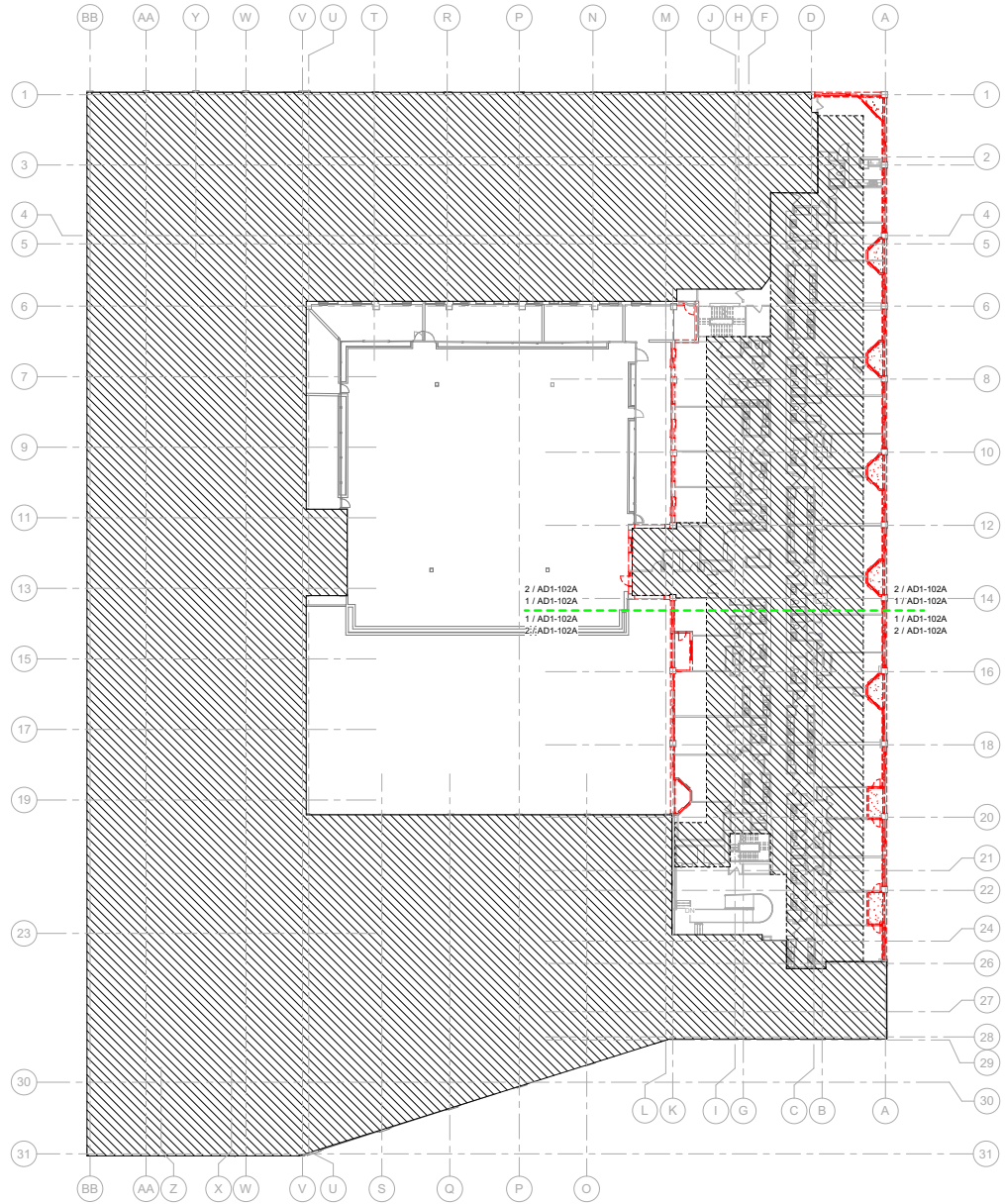


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DEMOLITION OVERALL
PLAN LEVELS 2 - 4

AD1-102

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CONSTRUCTION
DOCUMENTS



DEMOLITION CEILING LEGEND

EXISTING GWB CEILING TO REMAIN	TYPICAL SYMBOL NOMENCLATURE
EXISTING GWB CEILING TO BE REMOVED	XR: DEMO - SALVAGE FOR REUSE
EXISTING OPEN BAFFLE CEILING TO BE REMOVED	EXISTING LIGHT FIXTURE TO REMAIN
EXISTING CEILING PLANKS & ASSOCIATED LIGHT GAUGE MTL FRAMING TO BE REMOVED	EXISTING LIGHT FIXTURE TO BE REMOVED

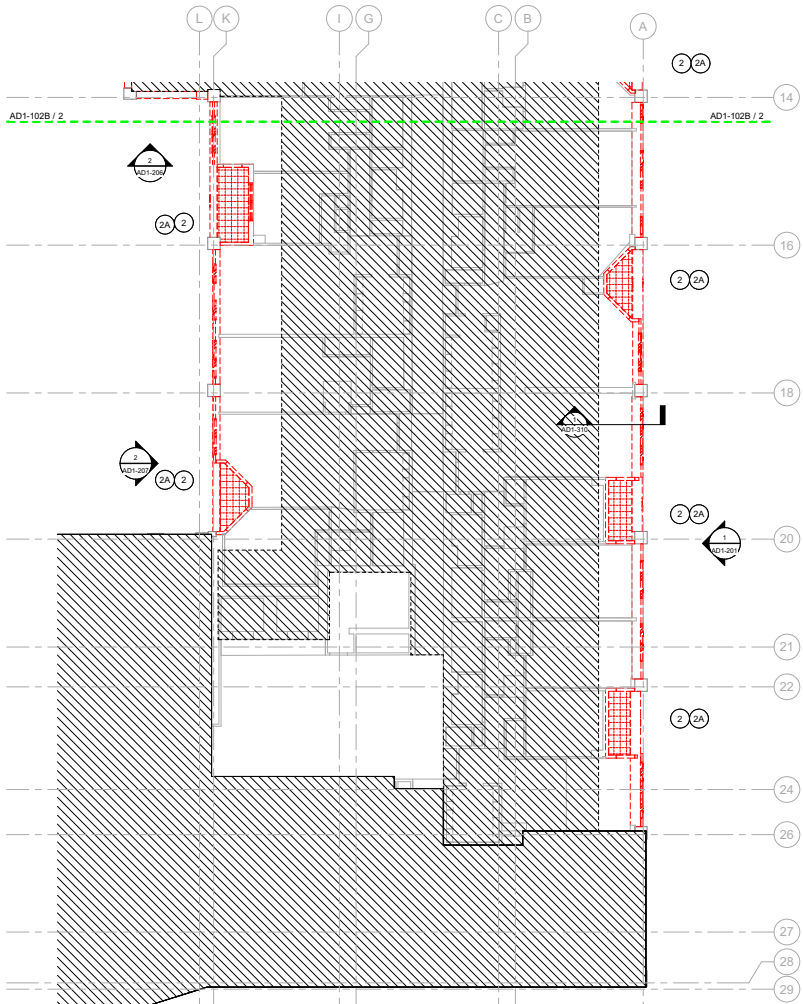
DEMOLITION PLAN LEGEND

EXISTING PARTITION TO BE REMOVED	EXISTING DOOR TO BE REMOVED
EXISTING PARTITION TO REMAIN	EXISTING DOOR TO REMAIN
EXISTING FLOOR FINISH TO BE REMOVED	EXISTING TOPPING SLAB TO BE REMOVED

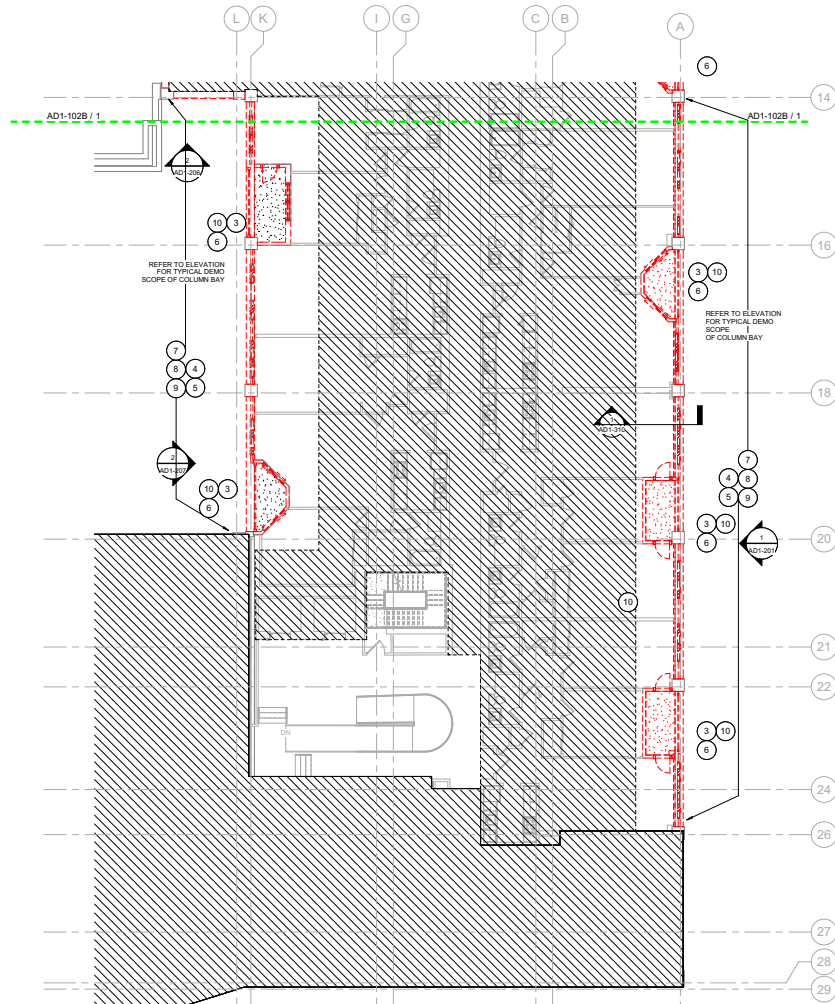
KEYNOTE LEGEND - DEMOLITION

NOTE #	DEMO NOTE
1	REMOVE WALLS, COORDINATE W/ NEW CONSTRUCTION DWGS.
2	REMOVE CEILING SPRINKLER, DIFFUSERS & OTHER CEILING APPURTENANCES
2A	REMOVE LIGHTING TO BE REPLACED IN KIND
3	REMOVE FRESH FLOORING & ADHESIVE AS INDICATED ON DWGS
4	REMOVE DOOR ASSEMBLY & ASSOCIATED EXTERIOR WALL FINISHES
4A	REMOVE DOOR(S) & FRAME(S); REPLACE BOTH & ASSOCIATED HARDWARE IN KIND WITH NEW; LOCKING WINNER
5	REMOVE WINDOW ASSEMBLY & ASSOCIATED EXTERIOR WALL FINISHES
6	REMOVE CORING STONE
7	REMOVE EPS (AND METAL STUD BACK-UP WALL WHERE APPLICABLE)
7A	REMOVE EPS
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10	REMOVE BALCONY GUARD
11	REMOVE CRACKED/DENEGROD CONCRETE TOPPING
12	REMOVE EXIST WATERPROOFING
13	REMOVE AREAS OF LOOSE EXIST COATINGS FROM CONCRETE
14	REMOVE EXISTING FINISH BACK TO STONE / CONCRETE FACE AT VERTICAL PIERS
15	REMOVE EXISTING FINISH BACK TO STONE / CONCRETE FACE AT VERTICAL PIERS
16	REMOVE METAL DIVIDER SCREEN
17	REMOVE LOCKER & ASSOCIATED STRUCTURE

REFER TO SHEET AD1-102 FOR DEMOLITION NOTES



2 DEMOLITION PART RCP A - LEVEL 2
SCALE: 1/8" = 1'-0"



1 DEMOLITION PART PLAN A - LEVEL 2
SCALE: 1/8" = 1'-0"

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KEY PLAN

PROJECT NORTH

DATE: 04.16.2021
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DRAWN BY: CLB
PROJECT NUMBER: 190653
DRAWING TITLE
DEMOLITION PLAN &
RCP PART A - LEVEL 2

AD1-102A

DRAWING NUMBER
CONSTRUCTION DOCUMENTS

DEMOLITION CEILING LEGEND

EXISTING GWB CEILING TO REMAIN	EXISTING GWB CEILING TO BE REMOVED	EXISTING OPEN BAFFLE CEILING TO BE REMOVED	EXISTING CEILING PLANKS & ASSOCIATED LIGHT GAUGE MTL FRAMING TO BE REMOVED

DEMOLITION PLAN LEGEND

EXISTING PARTITION TO BE REMOVED	EXISTING PARTITION TO REMAIN	EXISTING FLOOR FINISH TO BE REMOVED	EXISTING DOOR TO BE REMOVED	EXISTING DOOR TO REMAIN	EXISTING TOPPING SLAB TO BE REMOVED

KEYNOTE LEGEND - DEMOLITION

NOTE #	DEMO NOTE
1	REMOVE WALLS, COORDINATE W/ NEW CONSTRUCTION DWGS.
2	REMOVE CEILING SPRINKLER, DIFFUSERS & OTHER CEILING APPURTENANCES
2A	REMOVE LIGHTING TO BE REPLACED IN KIND
3	REMOVE FRESH FLOORING & ADHESIVE AS INDICATED ON DWGS
4	REMOVE DOOR ASSEMBLY & ASSOCIATED EXTERIOR WALL FINISHES
4A	REMOVE DOOR(S) & FRAME(S) REPLACE BOTH & ASSOCIATED HARDWARE IN KIND WITH NEW, LEADING WINNER
5	REMOVE WINDOW ASSEMBLY & ASSOCIATED EXTERIOR WALL FINISHES
6	REMOVE CORING STONE
7	REMOVE EPS (AND METAL STUD BACKUP WALL WHERE APPLICABLE)
7A	REMOVE EPS
8	REMOVE EIFS/CLADDING, ENGINEER TO INSPECT EXIST WALL STRUCTURE, INSTALL NEW CLADDING OVER EXIST WALLS
8	REMOVE BRICK AND EXISTING MORTAR
9	REMOVE STEEL BEARING ANGLE
10	REMOVE BALCONY GUARD
11	REMOVE CRACKED/DENEGED CONCRETE TOPPING
12	REMOVE EXIST WATERPROOFING
13	REMOVE AREAS OF LOOSE EXIST COATINGS FROM CONCRETE
14	REMOVE EXIST FINISH BACK TO STONE / CONCRETE FACE AT VERTICAL PIERS
15	REMOVE EXISTING FINISH BACK TO STONE / CONCRETE TIE PLANTS
16	REMOVE METAL DIVIDER SCREEN
17	REMOVE COVER & ASSOCIATED STRUCTURE

REFER TO SHEET AD1-102 FOR DEMOLITION NOTES

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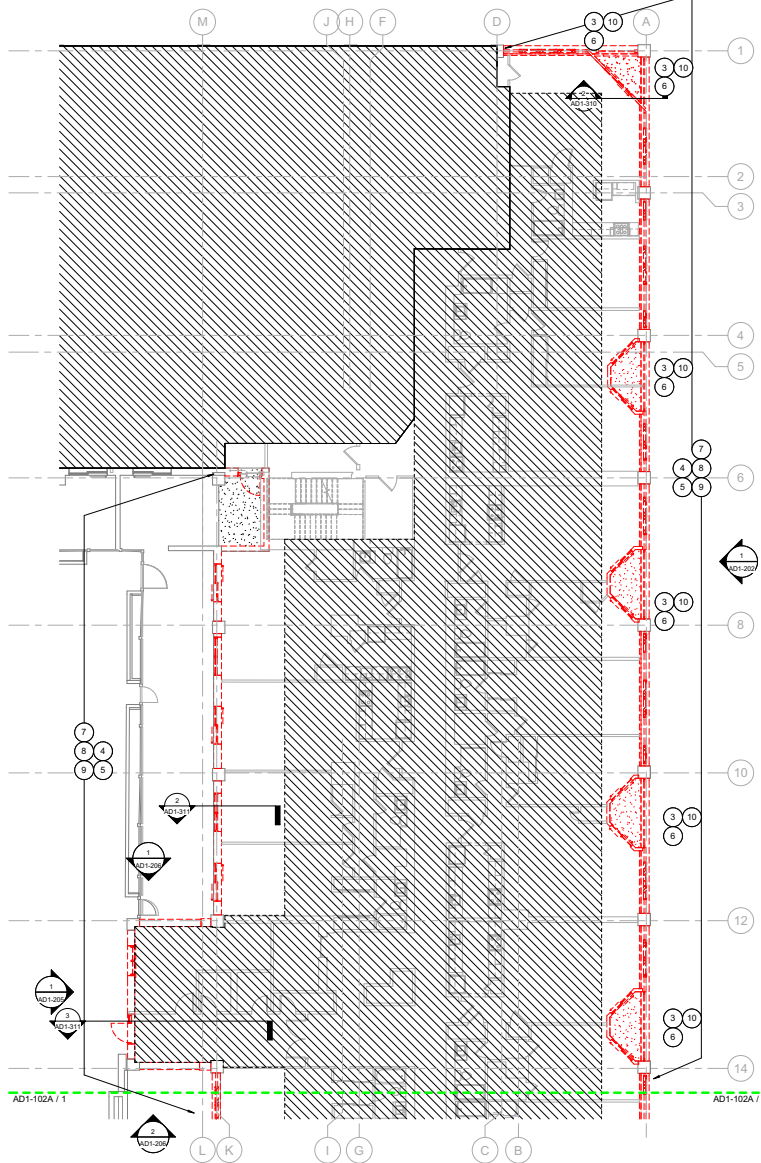
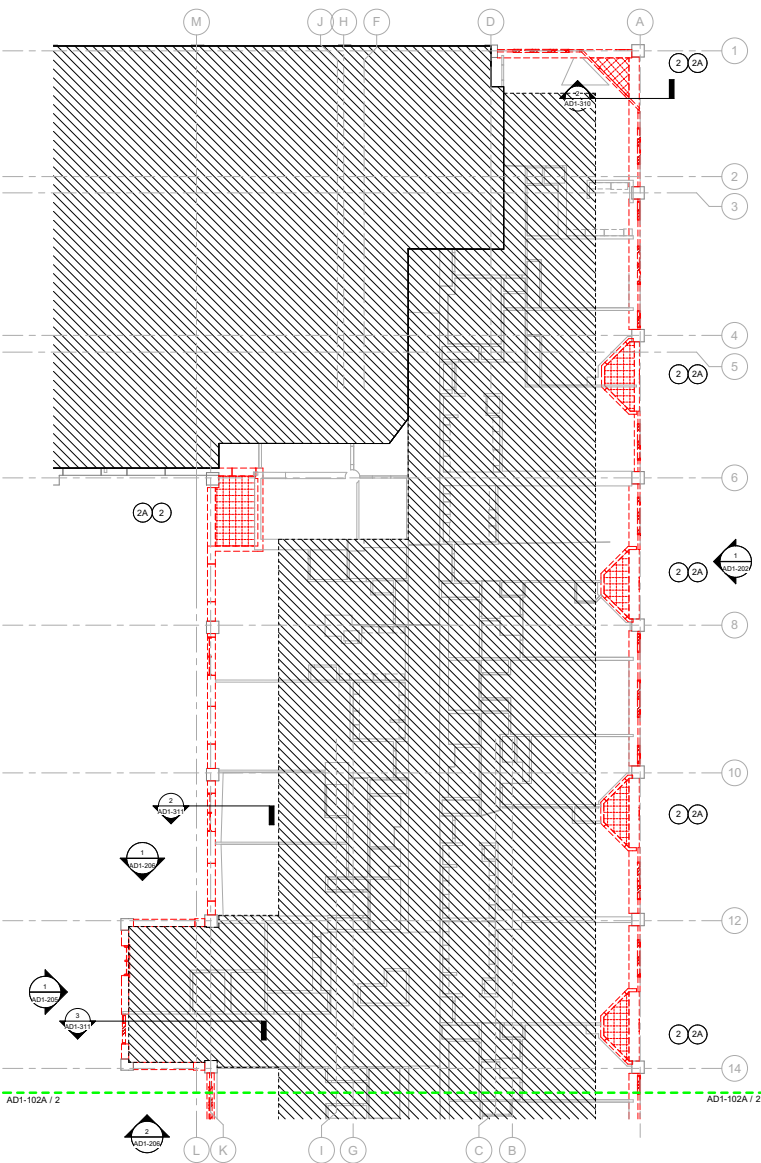
KEY PLAN

PROJECT NORTH **STAMP**

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PROJECT NUMBER: 190653
DRAWING TITLE
DEMOLITION PLAN &
RCP PART B - LEVEL 2

AD1-102B

DRAWING NUMBER
CONSTRUCTION
DOCUMENTS



DEMOLITION PART RCP B - LEVEL 2
SCALE: 1/8" = 1'-0"

DEMOLITION PART PLAN B - LEVEL 2
SCALE: 1/8" = 1'-0"

DEMOLITION CEILING LEGEND	
	EXISTING GWB CEILING TO REMAIN
	EXISTING GWB CEILING TO BE REMOVED
	EXISTING OPEN BAFFLE CEILING TO BE REMOVED
	EXISTING CEILING PLANKS & ASSOCIATED LIGHT GAUGE METAL FRAMING TO BE REMOVED
	EXISTING LIGHT FIXTURE TO REMAIN
	EXISTING LIGHT FIXTURE TO BE REMOVED

DEMOLITION PLAN LEGEND	
	EXISTING PARTITION TO BE REMOVED
	EXISTING PARTITION TO REMAIN
	EXISTING FLOOR FINISH TO BE REMOVED
	EXISTING DOOR TO BE REMOVED
	EXISTING DOOR TO REMAIN
	EXISTING TOPPING SLAB TO BE REMOVED

KEYNOTE LEGEND - DEMOLITION	
NOTE #	DEMO NOTE
1	REMOVE WALLS, COORDINATE W/ NEW CONSTRUCTION DWGS.
2	REMOVE CEILING SPRINKLER, DIFFUSERS & OTHER CEILING APPURTENANCES
2A	REMOVE LIGHTING TO BE REPLACED IN KIND
3	REMOVE FRESH FLOORING & ADHESIVE AS INDICATED ON DWGS
4	REMOVE DOOR ASSEMBLY & ASSOCIATED EXTERIOR WALL FINISHES
4A	REMOVE DOOR(S) & FRAME(S) REPLACE BOTH & ASSOCIATED HARDWARE IN KIND WITH NEW, LOCKING WINNER
5	REMOVE WINDOW ASSEMBLY & ASSOCIATED EXTERIOR WALL FINISHES
6	REMOVE CORING STONE
7	REMOVE EPS (AND METAL STUD BACK-UP WALL WHERE APPLICABLE)
7A	REMOVE EPS
8	REMOVE EIFS/CLADDING, ENGINEER TO INSPECT EXIST. WALL STRUCTURE, INSTALL NEW CLADDING OVER EXIST. WALLS
9	REMOVE BRICK AND EXISTING MORTAR
9	REMOVE STEEL BEARING ANGLE
10	REMOVE BALCONY GUARD
11	REMOVE CRACKED/DENEGED CONCRETE TOPPING
12	REMOVE EXIST. WATERPROOFING
13	REMOVE AREAS OF LOOSE EXIST. COATINGS FROM CONCRETE
14	REMOVE EXISTING FINISH BACK TO STONE / CONCRETE FACE AT VERTICAL PIERS
15	REMOVE EXISTING FINISH BACK TO STONE / CONCRETE FACE, PARAPETS
16	REMOVE METAL DIVIDER SCREEN
17	REMOVE LOCKER & ASSOCIATED STRUCTURE

REFER TO SHEET AD1-102 FOR DEMOLITION NOTES

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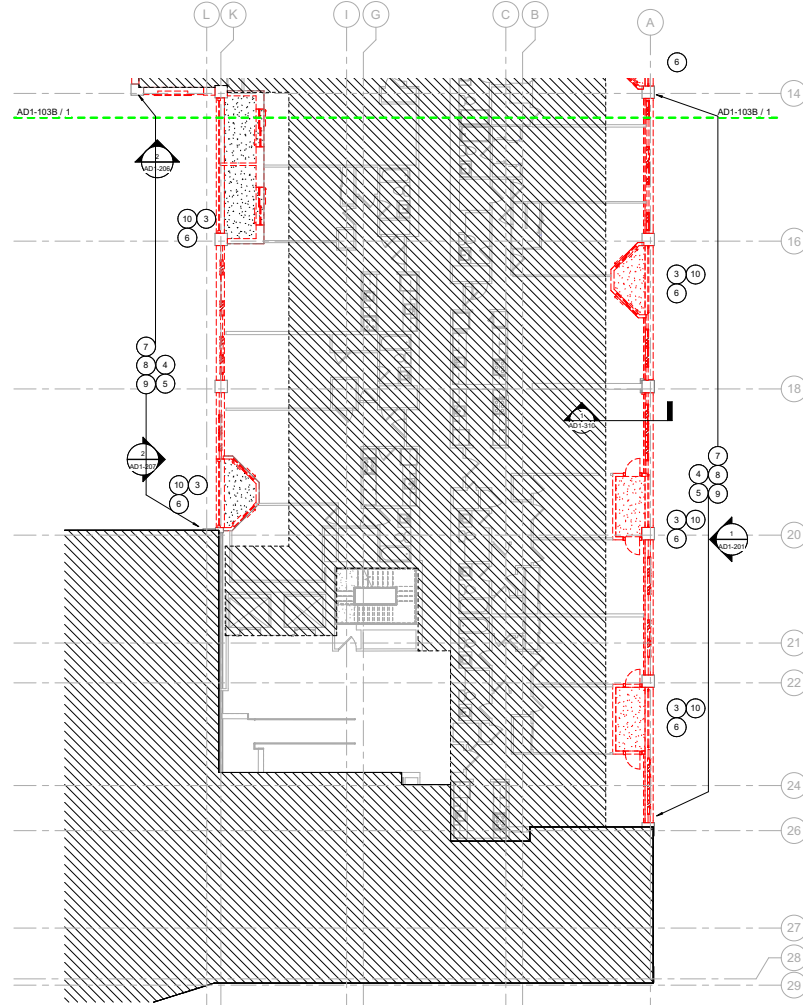
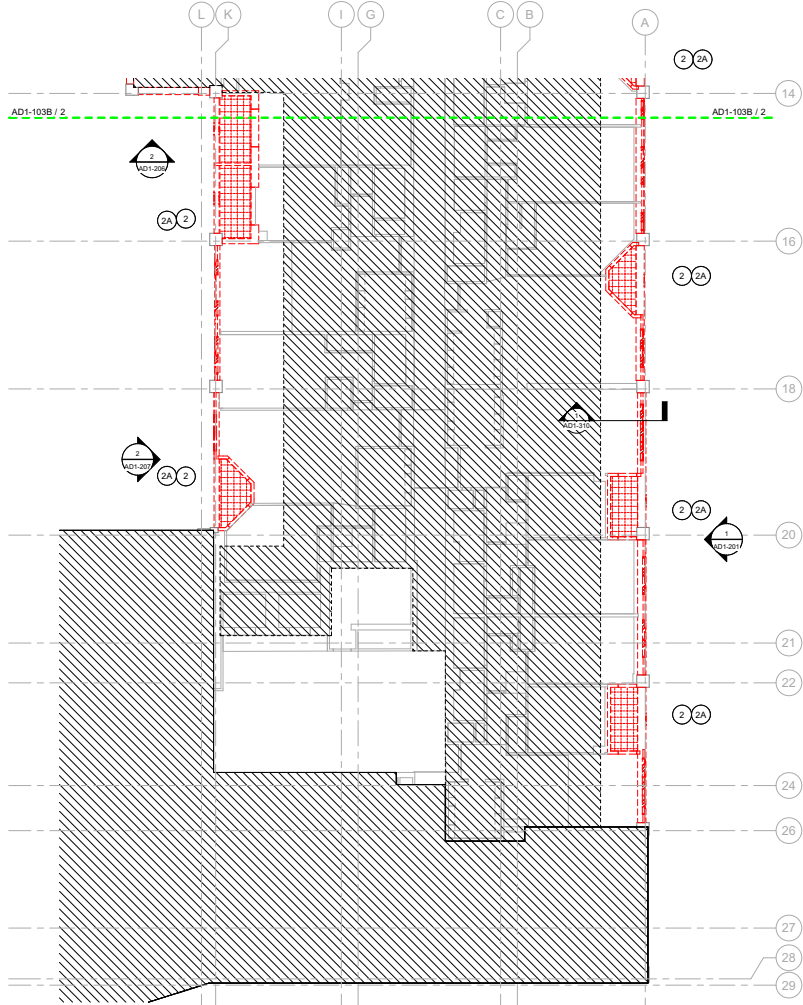
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KEY PLAN

PROJECT NORTH

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DRAWING TITLE
DEMOLITION PLAN & RCP PART A - LEVEL 3
AD1-103A
DRAWING NUMBER
CONSTRUCTION DOCUMENTS



DEMOLITION PART RCP A - LEVEL 3
SCALE: 1/8" = 1'-0"

DEMOLITION PART PLAN A - LEVEL 3
SCALE: 1/8" = 1'-0"

DEMOLITION CEILING LEGEND

EXISTING GWB CEILING TO REMAIN	TYPICAL SYMBOL NOMENCLATURE
EXISTING GWB CEILING TO BE REMOVED	XR: DEMO - SALVAGE FOR REUSE
EXISTING OPEN BAFFLE CEILING TO BE REMOVED	EXISTING LIGHT FIXTURE TO REMAIN
EXISTING CEILING PLANKS & ASSOCIATED LIGHT GAUGE MTL FRAMING TO BE REMOVED	EXISTING LIGHT FIXTURE TO BE REMOVED

DEMOLITION PLAN LEGEND

EXISTING PARTITION TO BE REMOVED	EXISTING DOOR TO BE REMOVED
EXISTING PARTITION TO REMAIN	EXISTING DOOR TO REMAIN
EXISTING FLOOR FINISH TO BE REMOVED	EXISTING TOPPING SLAB TO BE REMOVED

KEYNOTE LEGEND - DEMOLITION

NOTE #	DEMO NOTE
1	REMOVE WALLS, COORDINATE W/ NEW CONSTRUCTION DWGS.
2	REMOVE CEILING SPRINKLER, DIFFUSERS & OTHER CEILING APPURTENANCES
2A	REMOVE LIGHTING TO BE REPLACED IN KIND
3	REMOVE FRESH FLOORING & ADHESIVE AS INDICATED ON DWGS
4	REMOVE DOOR ASSEMBLY & ASSOCIATED EXTERIOR WALL FINISHES
4A	REMOVE DOOR(S) & FRAME(S) REPLACE BOTH & ASSOCIATED HARDWARE IN KIND WITH NEW, LOCKING WINNER
5	REMOVE WINDOW ASSEMBLY & ASSOCIATED EXTERIOR WALL FINISHES
6	REMOVE CORING STONE
7	REMOVE EPS (AND METAL STUD BACK-UP WALL WHERE APPLICABLE)
7A	REMOVE EPS
8	REMOVE EIFS/CLADDING, ENGINEER TO INSPECT EXIST WALL STRUCTURE, INSTALL NEW CLADDING OVER EXIST WALLS
9	REMOVE BRICK AND EXISTING MORTAR
9	REMOVE STEEL RELIEVING ANGLE
10	REMOVE BALCONY GUARD
11	REMOVE CRACKED/DENEGATED CONCRETE TOPPING
12	REMOVE EXIST WATERPROOFING
13	REMOVE AREAS OF LOOSE EXIST COATINGS FROM CONCRETE
14	REMOVE EXIST FINISH BACK TO STONE / CONCRETE FACE AT VERTICAL PIERS
15	REMOVE EXISTING FINISH BACK TO STONE / CONCRETE FINISHES
16	REMOVE METAL DIVIDER SCREEN
17	REMOVE COVER & ASSOCIATED STRUCTURE

REFER TO SHEET AD1-102 FOR DEMOLITION NOTES

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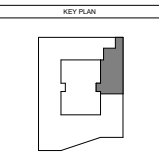
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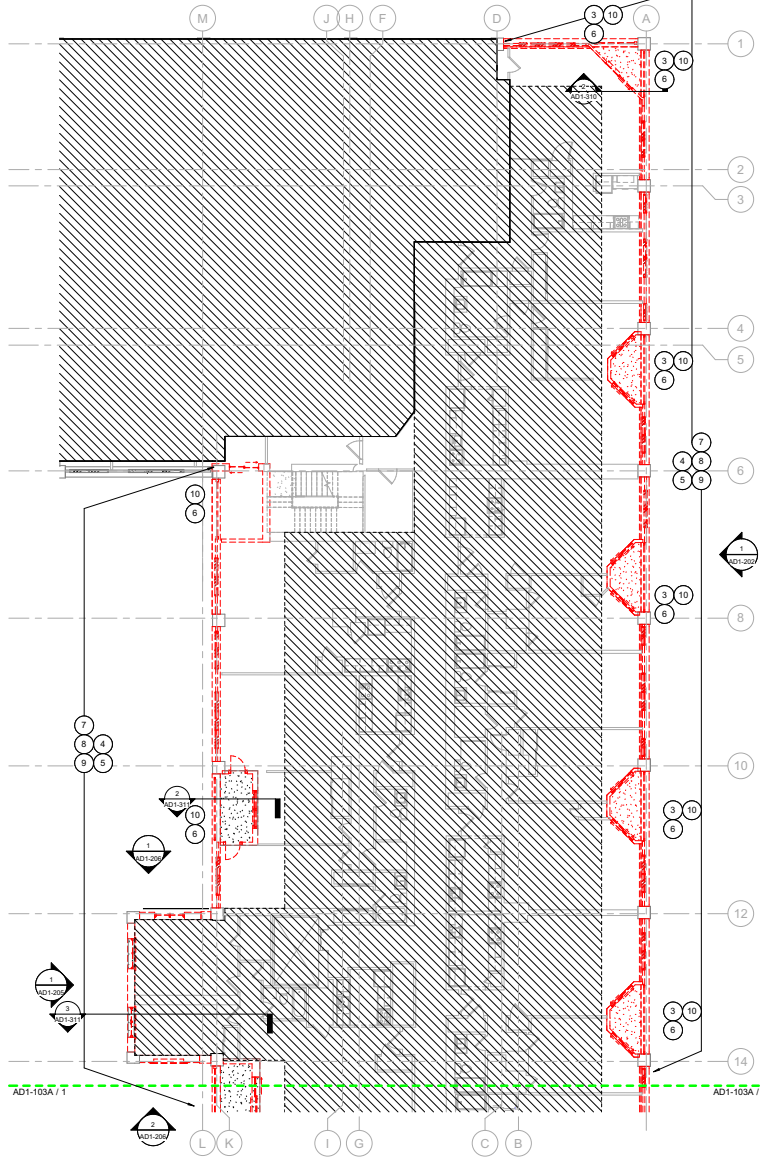
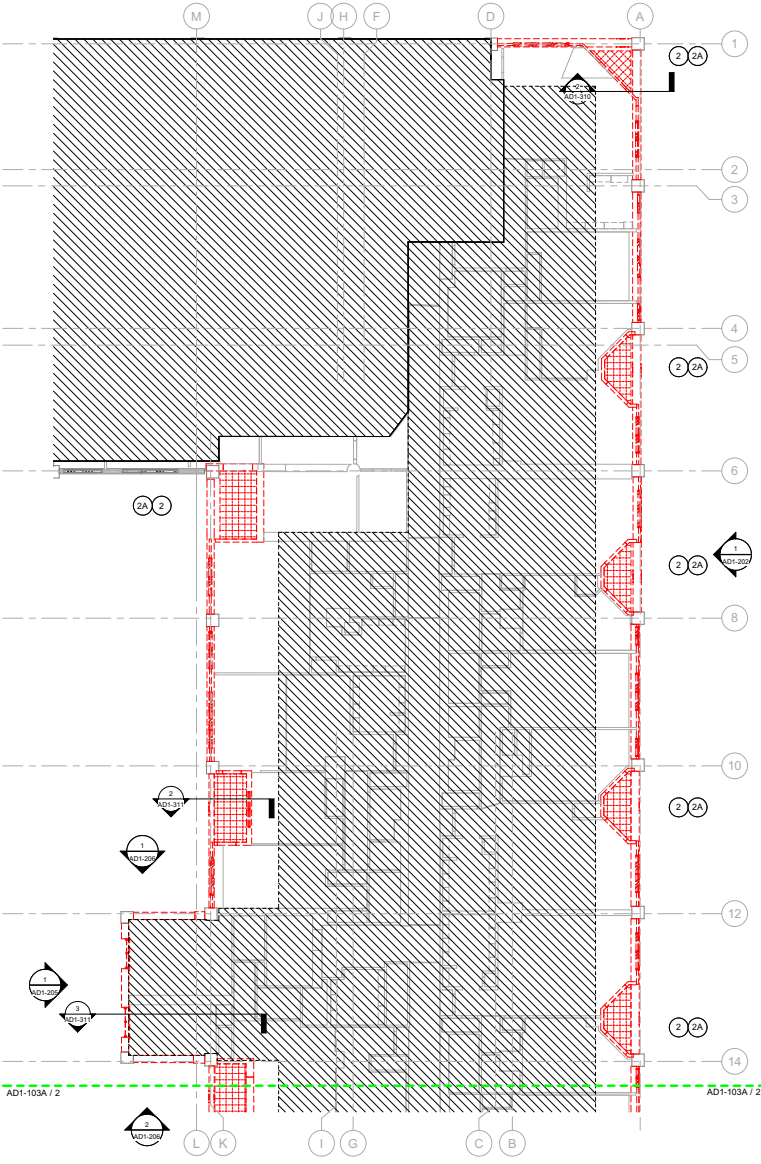
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DRAWING TITLE
DEMOLITION PLAN &
RCP PART B - LEVEL 3

AD1-103B

DRAWING NUMBER
CONSTRUCTION
DOCUMENTS



DEMOLITION PART RCP B - LEVEL 3
SCALE: 1/8" = 1'-0"

DEMOLITION PART PLAN B - LEVEL 3
SCALE: 1/8" = 1'-0"

DEMOLITION CEILING LEGEND	
	<p>EXISTING GWB CEILING TO REMAIN</p> <p>EXISTING GWB CEILING TO BE REMOVED</p> <p>EXISTING OPEN BAFFLE CEILING TO BE REMOVED</p> <p>EXISTING CEILING PLANKS & ASSOCIATED LIGHT GAUGE METAL FRAMING TO BE REMOVED</p> <p>TYPICAL SYMBOL NOMENCLATURE</p> <p>XR: DEMO - SALVAGE FOR REUSE</p> <p>●: EXISTING LIGHT FIXTURE TO REMAIN</p> <p>⊗: EXISTING LIGHT FIXTURE TO BE REMOVED</p>

DEMOLITION PLAN LEGEND	
	<p>EXISTING PARTITION TO BE REMOVED</p> <p>EXISTING PARTITION TO REMAIN</p> <p>EXISTING FLOOR FINISH TO BE REMOVED</p> <p>EXISTING DOOR TO BE REMOVED</p> <p>EXISTING DOOR TO REMAIN</p> <p>EXISTING TOPPING SLAB TO BE REMOVED</p>

KEYNOTE LEGEND - DEMOLITION	
NOTE #	DEMO NOTE
1	REMOVE WALLS, COORDINATE W/ NEW CONSTRUCTION DWGS.
2	REMOVE CEILING SPRINKLER, DIFFUSERS & OTHER CEILING APPURTENANCES
2A	REMOVE LIGHTING TO BE REPLACED IN KIND
3	REMOVE FRESH FLOORING & ADHESIVE AS INDICATED ON DWGS
4	REMOVE DOOR ASSEMBLY & ASSOCIATED EXTERIOR WALL FINISHES
4A	REMOVE DOOR(S) & FRAME(S) REPLACE BOTH & ASSOCIATED HARDWARE IN KIND WITH NEW, EQUAL OR BETTER
5	REMOVE WINDOW ASSEMBLY & ASSOCIATED EXTERIOR WALL FINISHES
6	REMOVE CORING STONE
7	REMOVE EPS (AND METAL STUD BACKUP WALL WHERE APPLICABLE)
7A	REMOVE EPS
8	REMOVE EIFS/CLADDING, ENGINEER TO INSPECT EXIST WALL STRUCTURE, INSTALL NEW CLADDING OVER EXIST WALLS
9	REMOVE BRICK AND EXISTING MORTAR
9	REMOVE STEEL BEARING ANGLE
10	REMOVE BALCONY GUARD
11	REMOVE CRACKED/DENEGED CONCRETE TOPPING
12	REMOVE EXIST WATERPROOFING
13	REMOVE AREAS OF LOOSE EXIST COATINGS FROM CONCRETE
14	REMOVE EXISTING FINISH BACK TO STONE / CONCRETE FACE AT VERTICAL PIERS
15	REMOVE EXISTING FINISH BACK TO STONE / CONCRETE FACE AT VERTICAL PIERS
16	REMOVE EXISTING FINISH BACK TO STONE / CONCRETE FACE AT VERTICAL PIERS
17	REMOVE METAL DIVIDER SCREEN
17	REMOVE LOCKER & ASSOCIATED STRUCTURE

REFER TO SHEET AD1-102 FOR DEMOLITION NOTES

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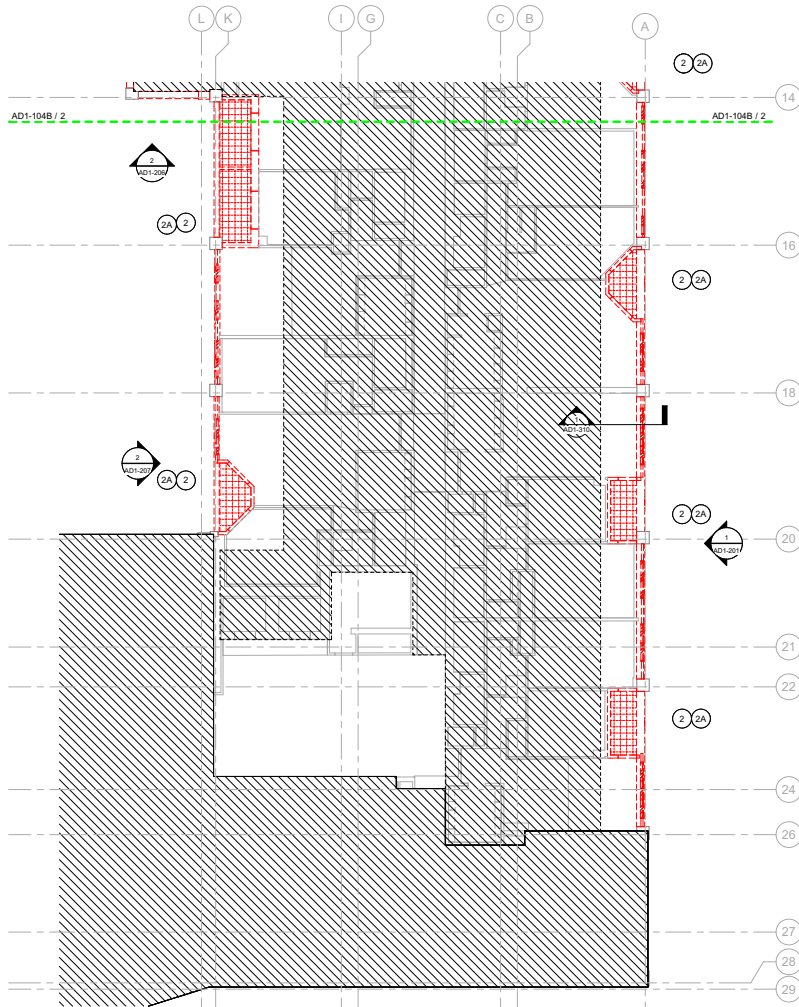
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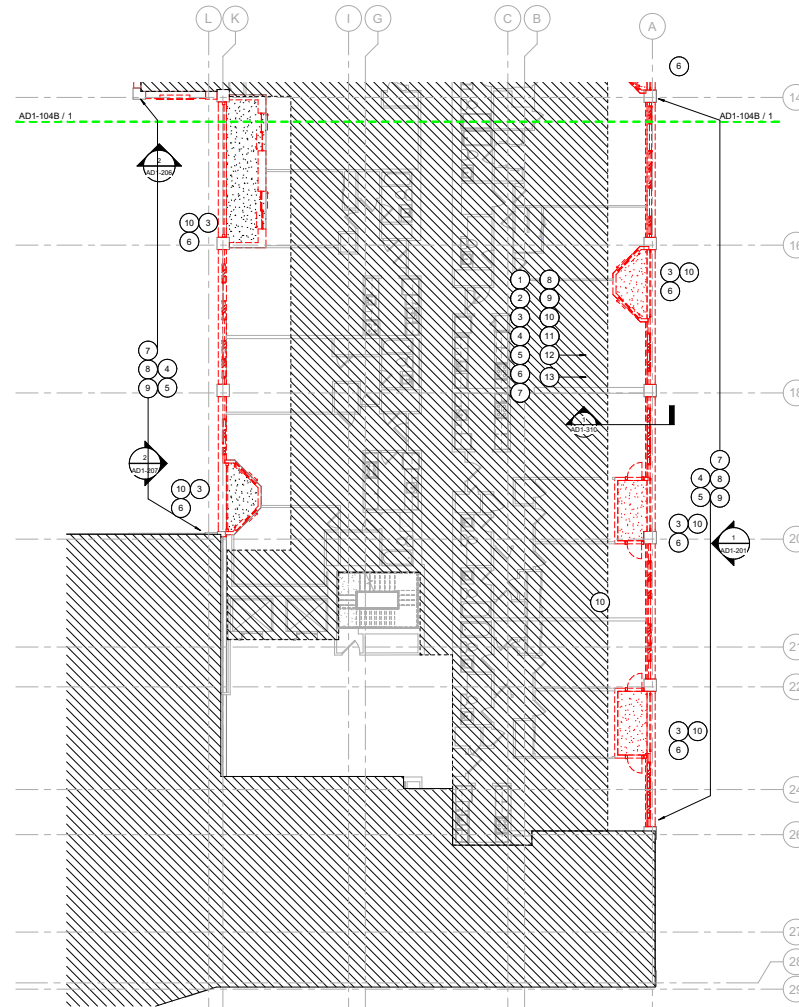
KEY PLAN

PROJECT NORTH

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DEMOLITION PLAN & RCP PART A - LEVEL 4
AD1-104A
DRAWING NUMBER
CONSTRUCTION DOCUMENTS



① DEMOLITION PART RCP A - LEVEL 4
SCALE: 1/8" = 1'-0"



① DEMOLITION PART PLAN A - LEVEL 4
SCALE: 1/8" = 1'-0"

DEMOLITION CEILING LEGEND

EXISTING GWB CEILING TO REMAIN	TYPICAL SYMBOL NOMENCLATURE
EXISTING GWB CEILING TO BE REMOVED	XR: DEMO DEVICE
EXISTING OPEN BAFFLE CEILING TO BE REMOVED	○: EXISTING LIGHT FIXTURE TO REMAIN
EXISTING CEILING PLANKS & ASSOCIATED LIGHT GAUGE MTL FRAMING TO BE REMOVED	○X: EXISTING LIGHT FIXTURE TO BE REMOVED

DEMOLITION PLAN LEGEND

EXISTING PARTITION TO BE REMOVED	EXISTING DOOR TO BE REMOVED
EXISTING PARTITION TO REMAIN	EXISTING DOOR TO REMAIN
EXISTING FLOOR FINISH TO BE REMOVED	EXISTING TOPPING SLAB TO BE REMOVED

KEYNOTE LEGEND - DEMOLITION

NOTE #	DEMO NOTE
1	REMOVE WALLS, COORDINATE W/ NEW CONSTRUCTION DWGS.
2	REMOVE CEILING SPRINKLER, DIFFUSERS & OTHER CEILING APPURTENANCES
2A	REMOVE LIGHTING TO BE REPLACED IN KIND
3	REMOVE FRESH FLOORING & ADHESIVE AS INDICATED ON DWGS
4	REMOVE DOOR ASSEMBLY & ASSOCIATED EXTERIOR WALL FINISHES
4A	REMOVE DOOR(S) & FRAME(S) REPLACE BOTH & ASSOCIATED HARDWARE IN KIND WITH NEW, LOCKING WINNER
5	REMOVE WINDOW ASSEMBLY & ASSOCIATED EXTERIOR WALL FINISHES
6	REMOVE CORING STONE
7	REMOVE EPS (AND METAL STUD BACKUP WALL WHERE APPLICABLE)
7A	REMOVE EPS
7B	REMOVE EPS/CLADDING ENGINEER TO INSPECT EXIST WALL STRUCTURE, INSTALL NEW CLADDING OVER EXIST WALLS
8	REMOVE BRICK AND EXISTING MORTAR
9	REMOVE STEEL RELIEVING ANGLE
10	REMOVE BALCONY GUARD
11	REMOVE CRACKED/DENEGED CONCRETE TOPPING
12	REMOVE EXIST WATERPROOFING
13	REMOVE AREAS OF LOOSE EXIST COATINGS FROM CONCRETE
14	REMOVE EXIST FINISH BACK TO STONE / CONCRETE FACE AT VERTICAL PIERS
15	REMOVE EXISTING FINISH BACK TO STONE / CONCRETE FACE
16	REMOVE METAL DIVIDER SCREEN
17	REMOVE COVER & ASSOCIATED STRUCTURE

REFER TO SHEET AD1-102 FOR DEMOLITION NOTES

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KEY PLAN

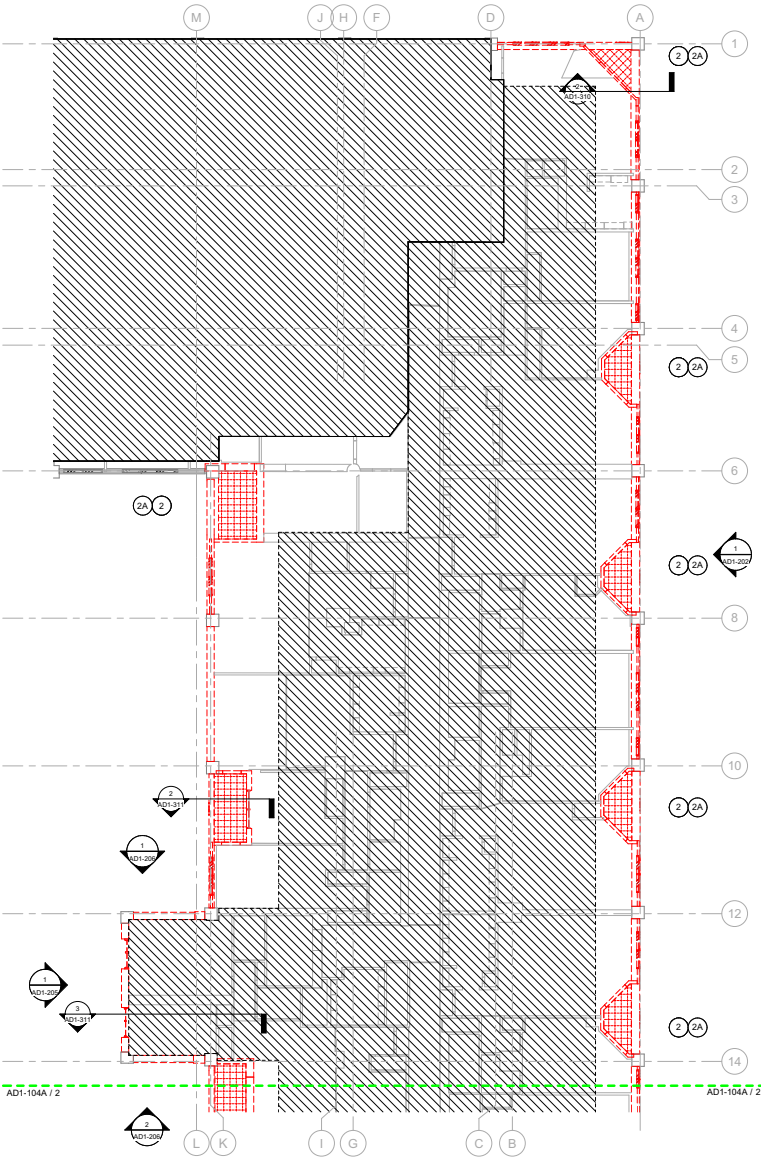
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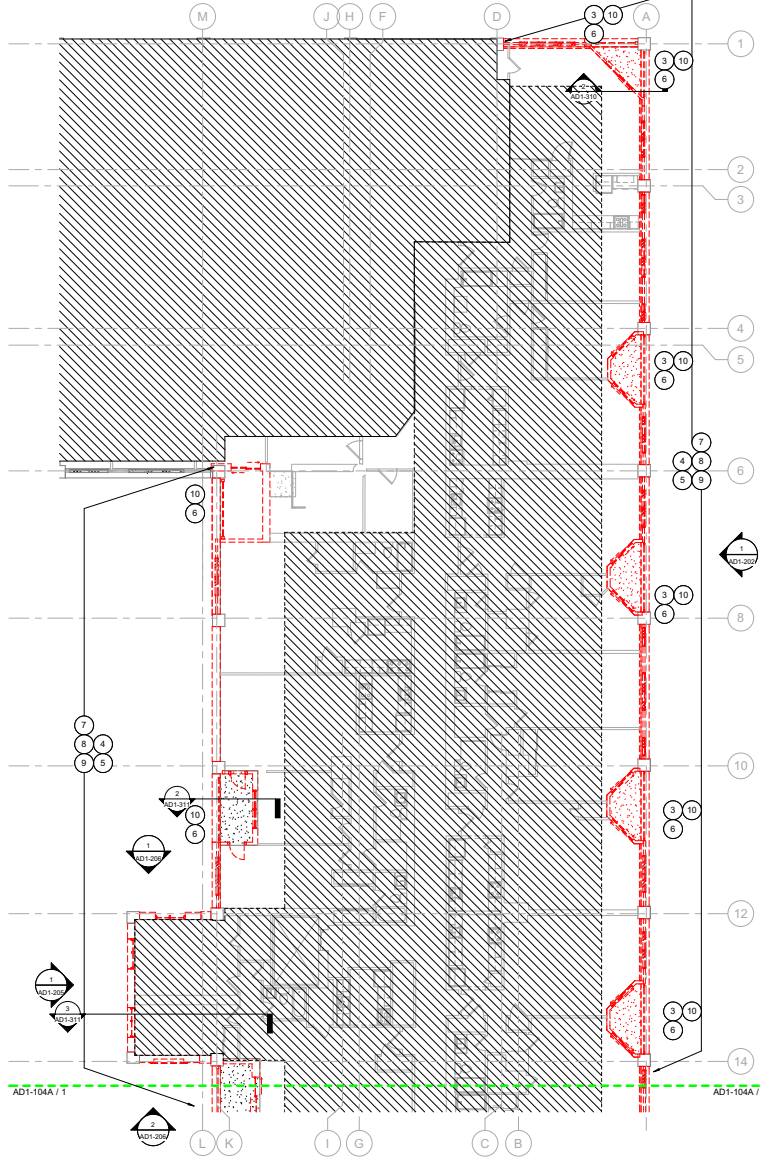
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PROJECT NUMBER: 190653
DRAWING TITLE
DEMOLITION PLAN &
RCP PART B - LEVEL 4

AD1-104B

DRAWING NUMBER
CONSTRUCTION
DOCUMENTS



DEMOLITION PART RCP B - LEVEL 4
SCALE: 1/8" = 1'-0"



DEMOLITION PART PLAN B - LEVEL 4
SCALE: 1/8" = 1'-0"

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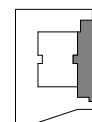
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KEY PLAN



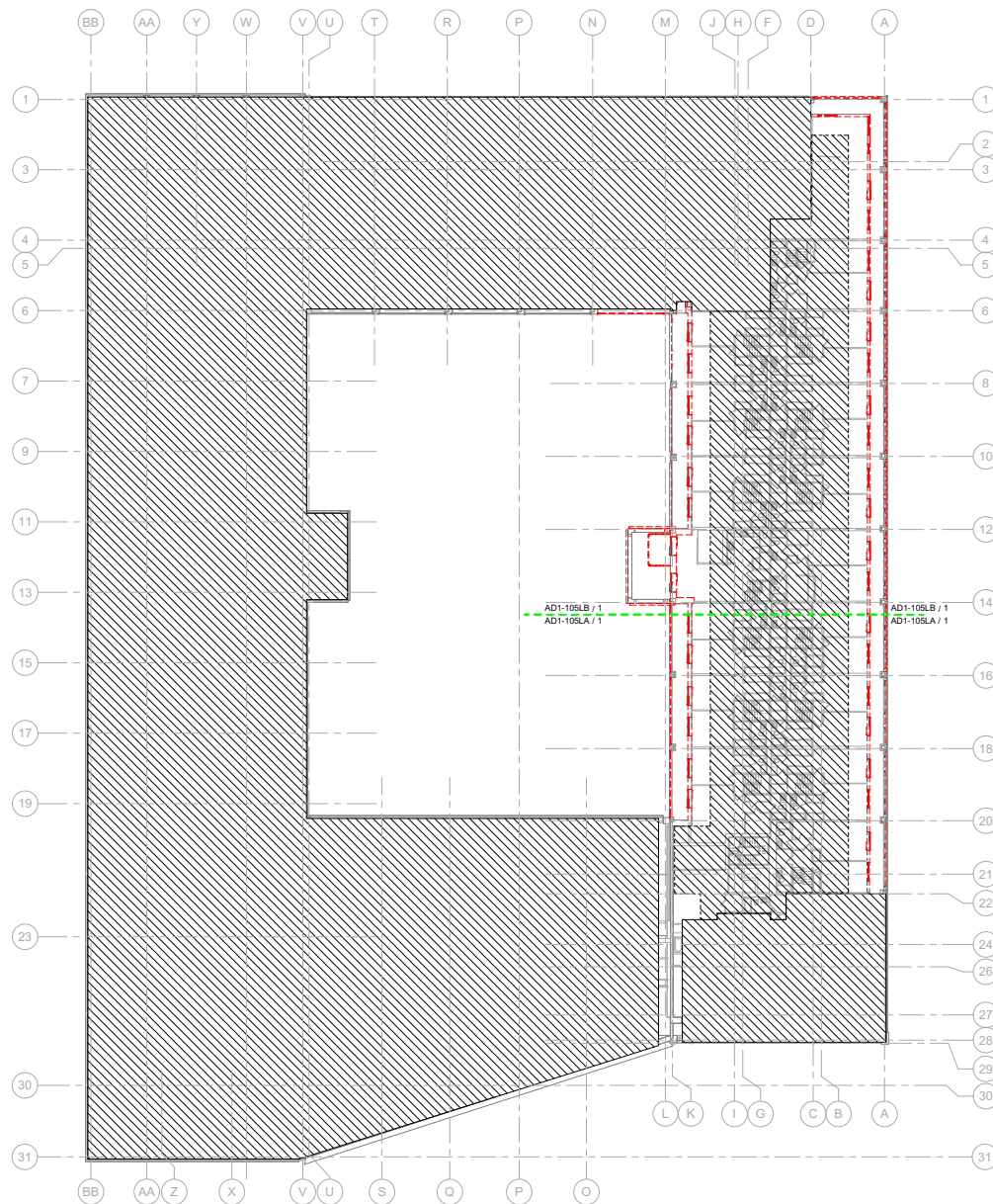
PROJECT NORTH



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DRAWN BY: MB
PROJECT NUMBER: 190653
DRAWING TITLE
DEMOLITION OVERALL
PLAN LEVEL 5L

AD1-105L

DRAWING NUMBER
CONSTRUCTION
DOCUMENTS



DEMOLITION CEILING LEGEND

	EXISTING GWB CEILING TO REMAIN
	EXISTING GWB CEILING TO BE REMOVED
	EXISTING OPEN BAFFLE CEILING TO BE REMOVED
	EXISTING CEILING PLANKS & ASSOCIATED LIGHT GAUGE METAL FRAMING TO BE REMOVED
	EXISTING LIGHT FIXTURE TO REMAIN
	EXISTING LIGHT FIXTURE TO BE REMOVED

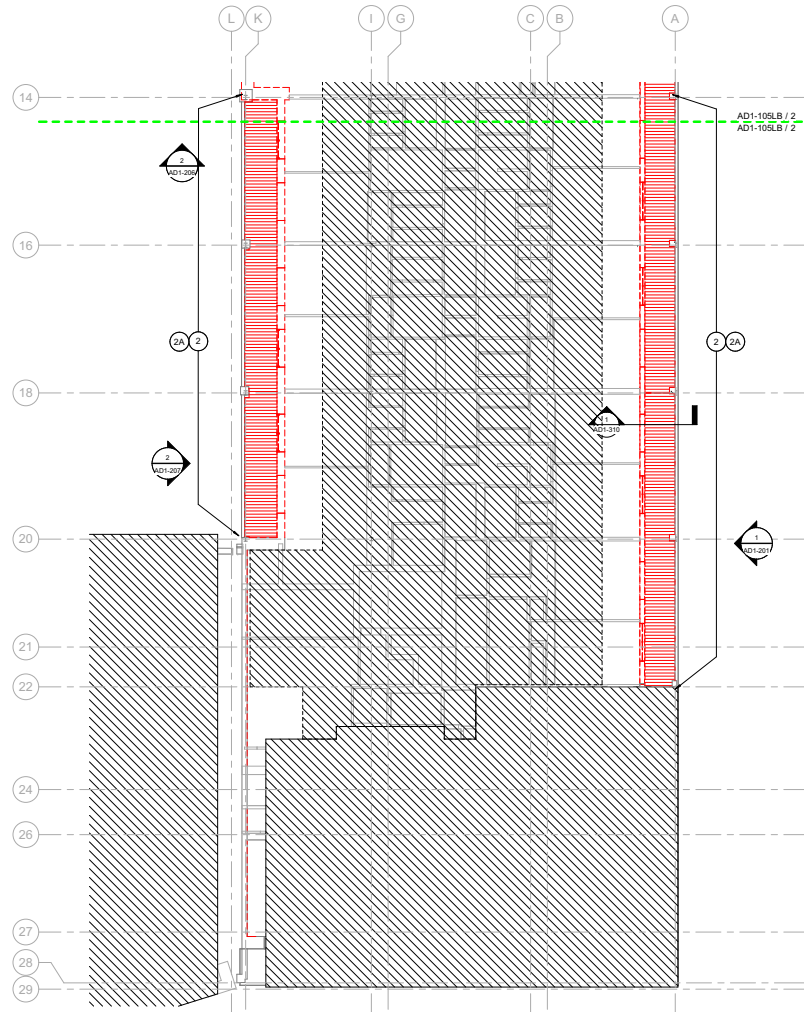
DEMOLITION PLAN LEGEND

	EXISTING PARTITION TO BE REMOVED
	EXISTING PARTITION TO REMAIN
	EXISTING FLOOR FINISH TO BE REMOVED
	EXISTING DOOR TO BE REMOVED
	EXISTING DOOR TO REMAIN
	EXISTING TOPPING SLAB TO BE REMOVED

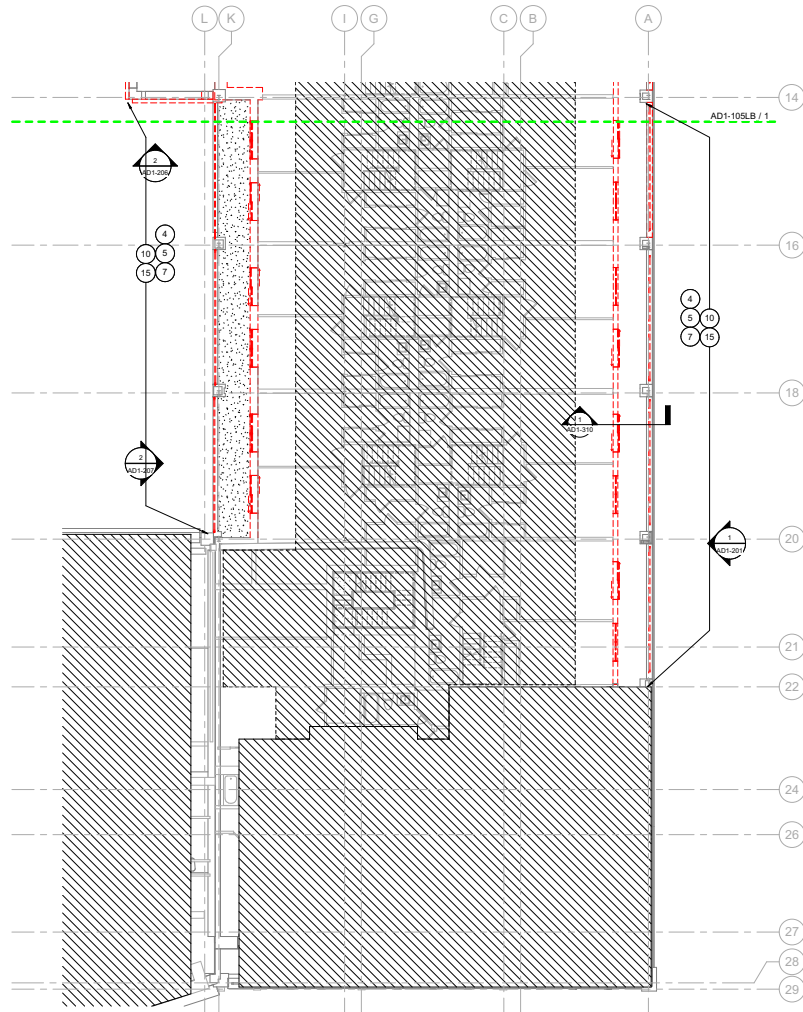
KEYNOTE LEGEND - DEMOLITION

NOTE #	DEMO NOTE
1	REMOVE WALLS COORDINATE W/ NEW CONSTRUCTION DWGS.
2	REMOVE CEILING SPRINKLER, DIFFUSERS & OTHER CEILING APPURTENANCES
3A	REMOVE LIGHTING TO BE REPLACED IN KIND
3	REMOVE FRESH FLOORING & ADHESIVE AS INDICATED ON DWGS
4	REMOVE DOOR ASSEMBLY & ASSOCIATED EXTERIOR WALL FINISHES
4A	REMOVE DOOR(S) & FRAME(S) REPLACE BOTH & ASSOCIATED HARDWARE IN KIND WITH NEW; LOCKING WINNER
5	REMOVE WINDOW ASSEMBLY & ASSOCIATED EXTERIOR WALL FINISHES
6	REMOVE CORING STONE
7	REMOVE EPS (AND METAL STUD BACK-UP WALL WHERE APPLICABLE)
7A	REMOVE EPS
7B	REMOVE EIFS/CLADDING ENGINEER TO INSPECT EXIST WALL STRUCTURE; INSTALL NEW CLADDING OVER EXIST WALLS
8	REMOVE BRICK AND EXISTING MORTAR
9	REMOVE STEEL BEVELING ANGLE
10	REMOVE BALCONY GUARD
11	REMOVE CRACKED DEREGED CONCRETE TOPPING
12	REMOVE EXIST WATERPROOFING
13	REMOVE AREAS OF LOOSE EXIST COATINGS FROM CONCRETE
14	REMOVE EXIST FINISH BACK TO STONE / CONCRETE FACE AT VERTICAL PIERS
15	REMOVE EXIST FINISH BACK TO STONE / CONCRETE FACE
16	REMOVE METAL DIVIDER SCREEN
17	REMOVE LOCKER & ASSOCIATED STRUCTURE

REFER TO SHEET AD1-105L FOR DEMOLITION NOTES



② DEMOLITION PART RCP A - LEVEL 5L
SCALE: 1/8" = 1'-0"



① DEMOLITION PART PLAN A - LEVEL 5L
SCALE: 1/8" = 1'-0"

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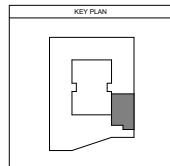
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DRAWN BY: CLB
PROJECT NUMBER: 190693
DRAWING TITLE
DEMOLITION PLAN & RCP PART A - LEVEL 5L

AD1-105LA

DRAWING NUMBER
CONSTRUCTION DOCUMENTS

DEMOLITION CEILING LEGEND

	EXISTING GWB CEILING TO REMAIN
	EXISTING GWB CEILING TO BE REMOVED
	EXISTING OPEN BAFFLE CEILING TO BE REMOVED
	EXISTING CEILING PLANKS & ASSOCIATED LIGHT GAUGE METAL FRAMING TO BE REMOVED
	TYPICAL SYMBOL NOMENCLATURE
	EXISTING LIGHT FIXTURE TO REMAIN
	EXISTING LIGHT FIXTURE TO BE REMOVED

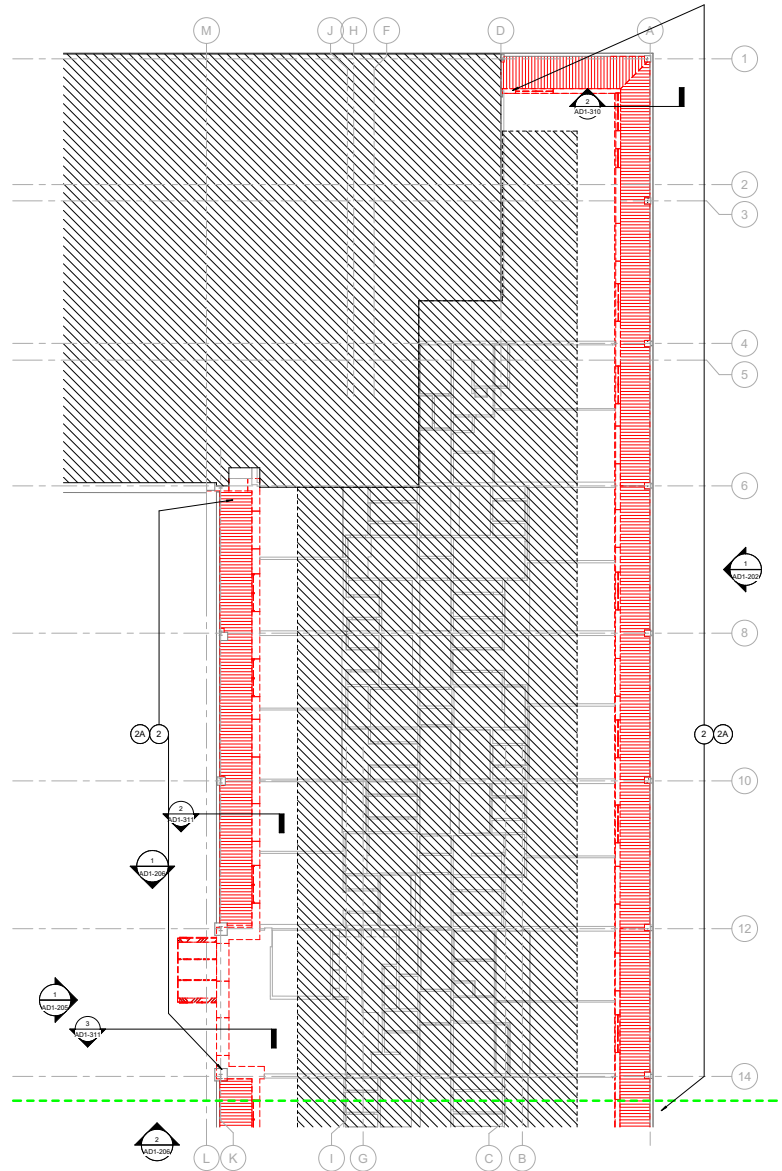
DEMOLITION PLAN LEGEND

	EXISTING PARTITION TO BE REMOVED
	EXISTING PARTITION TO REMAIN
	EXISTING FLOOR FINISH TO BE REMOVED
	EXISTING DOOR TO BE REMOVED
	EXISTING DOOR TO REMAIN
	EXISTING TOPPING SLAB TO BE REMOVED

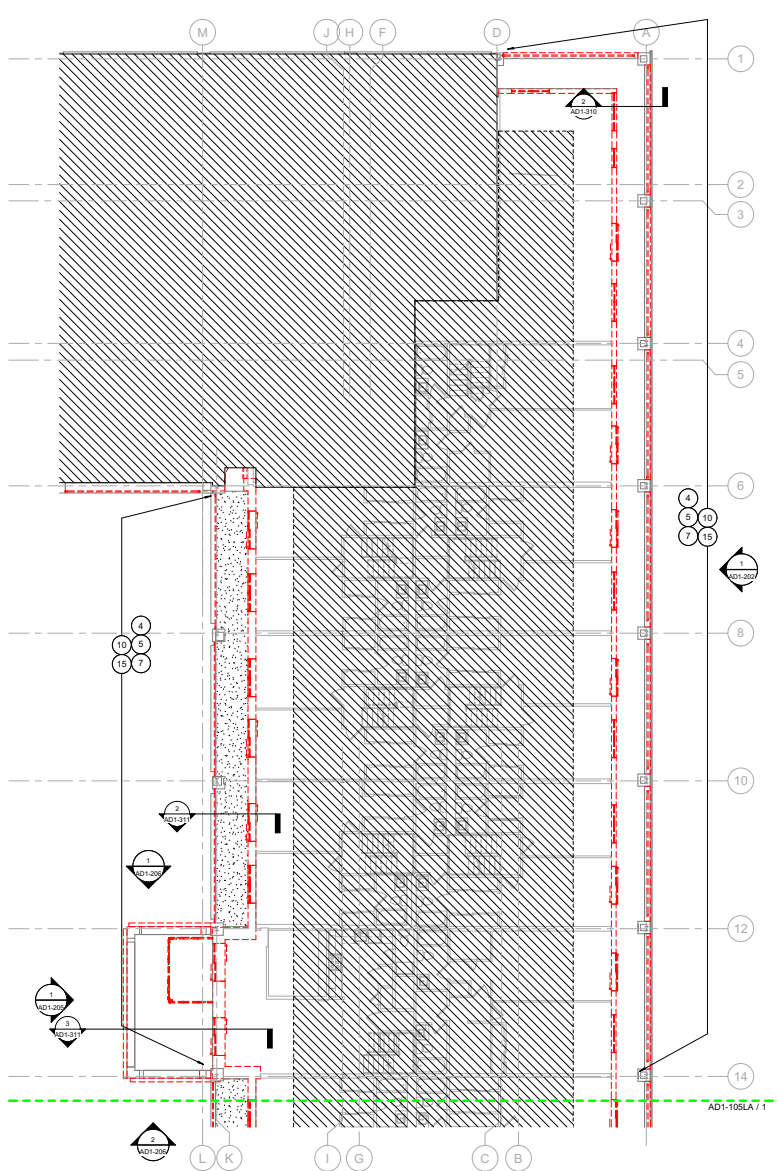
KEYNOTE LEGEND - DEMOLITION

NOTE #	DEMO NOTE
1	REMOVE WALLS, COORDINATE W/ NEW CONSTRUCTION DWGS.
2	REMOVE CEILING SPRINKLER, DIFFUSERS & OTHER CEILING APPURTENANCES
2A	REMOVE LIGHTING TO BE REPLACED IN KIND
3	REMOVE FRESHLY LAYED & ADHESIVE AS INDICATED ON DWGS
4	REMOVE DOOR ASSEMBLY & ASSOCIATED EXTERIOR WALL FINISHES
4A	REMOVE DOOR(S) & FRAME(S) REPLACE BOTH & ASSOCIATED HARDWARE IN KIND WITH NEW, LOCKING WINNER
5	REMOVE WINDOW ASSEMBLY & ASSOCIATED EXTERIOR WALL FINISHES
6	REMOVE CORNER STONE
7	REMOVE EPS (AND METAL STUD BACKUP WALL WHERE APPLICABLE)
7A	REMOVE EPS
7B	REMOVE EPS/CLADDING ENGINEER TO INSPECT EXIST WALL STRUCTURE, INSTALL NEW CLADDING OVER EXIST WALLS
8	REMOVE BRICK AND EXISTING MORTAR
9	REMOVE STEEL BEVELING ANGLE
10	REMOVE BALCONY GUARD
11	REMOVE CRACKED/DENEGATED CONCRETE TOPPING
12	REMOVE EXIST WATERPROOFING
13	REMOVE AREAS OF LOOSE EXIST COATINGS FROM CONCRETE
14	REMOVE EXIST FINISH BACK TO STONE / CONCRETE FACE AT VERTICAL PIERS
15	REMOVE EXIST FINISH BACK TO STONE / CONCRETE FACE AT VERTICAL PIERS
16	REMOVE METAL DIVIDER SCREEN
17	REMOVE LOCKER & ASSOCIATED STRUCTURE

REFER TO SHEET AD1-105L FOR DEMOLITION NOTES



2 DEMOLITION PART RCP B - LEVEL 5L
SCALE: 1/8" = 1'-0"



1 DEMOLITION PART PLAN B - LEVEL 5L
SCALE: 1/8" = 1'-0"

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20	101-311	

KEY PLAN

PROJECT NORTH

STAMP

DATE: 04.16.2021
SCALE: 1/8" = 1'-0"
DRAWN BY: CLB
PROJECT NUMBER: 190683
DRAWING TITLE
DEMOLITION PLAN & RCP PART B - LEVEL 5L

AD1-105LB

DRAWING NUMBER
CONSTRUCTION DOCUMENTS

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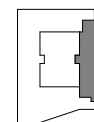
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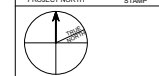
REVISIONS

NO	DESCRIPTION	DATE

KEY PLAN



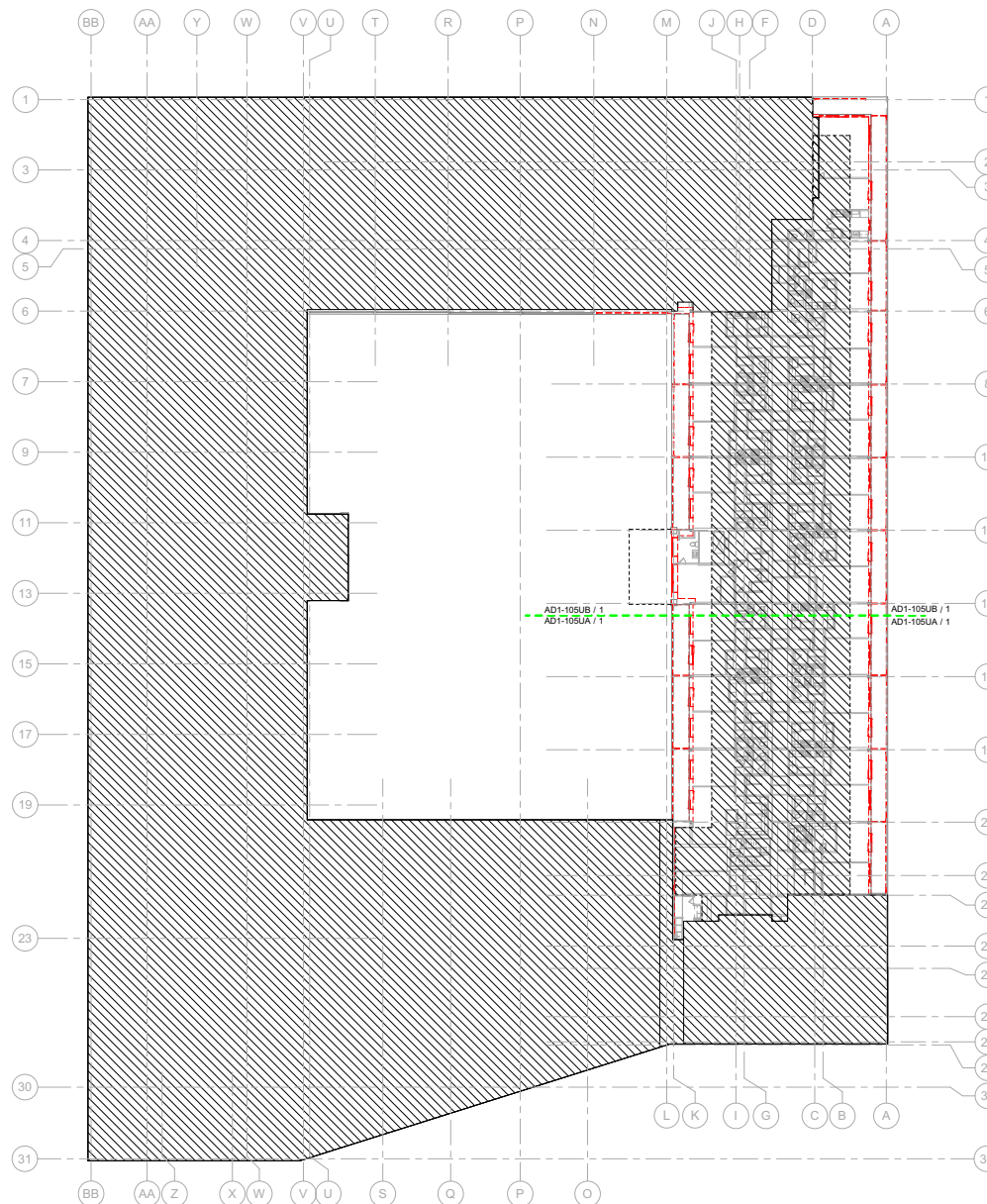
PROJECT NORTH



DATE: 04.16.2021
SCALE: 1/16" = 1'-0"
DRAWN BY: MB
PROJECT NUMBER: 190653
DRAWING TITLE
DEMOLITION OVERALL
PLAN LEVELS 5U

AD1-105U

DRAWING NUMBER
CONSTRUCTION
DOCUMENTS



DEMOLITION CEILING LEGEND

	EXISTING GWB CEILING TO REMAIN
	EXISTING GWB CEILING TO BE REMOVED
	EXISTING OPEN BAFFLE CEILING TO BE REMOVED
	EXISTING CEILING PLANKS & ASSOCIATED LIGHT GAUGE METAL FRAMING TO BE REMOVED
	EXISTING LIGHT FIXTURE TO REMAIN
	EXISTING LIGHT FIXTURE TO BE REMOVED

DEMOLITION PLAN LEGEND

	EXISTING PARTITION TO BE REMOVED
	EXISTING PARTITION TO REMAIN
	EXISTING FLOOR FINISH TO BE REMOVED
	EXISTING DOOR TO BE REMOVED
	EXISTING DOOR TO REMAIN
	EXISTING TOPPING SLAB TO BE REMOVED

KEYNOTE LEGEND - DEMOLITION

NOTE #	DEMO NOTE
1	REMOVE WALLS COORDINATE W/ NEW CONSTRUCTION DWGS.
2	REMOVE CEILING SPRINKLER, DIFFUSERS & OTHER CEILING APPURTENANCES
3A	REMOVE LIGHTING TO BE REPLACED IN KIND
3	REMOVE FRESH FLOORING & ADHESIVE AS INDICATED ON DWGS
4	REMOVE DOOR ASSEMBLY & ASSOCIATED EXTERIOR WALL FINISHES
4A	REMOVE DOOR(S) & FRAME(S) REPLACE BOTH & ASSOCIATED HARDWARE IN KIND WITH NEW; LOCKING WINNER
5	REMOVE WINDOW ASSEMBLY & ASSOCIATED EXTERIOR WALL FINISHES
6	REMOVE CORING STONE
7	REMOVE EPS (AND METAL STUD BACK-UP WALL WHERE APPLICABLE)
7A	REMOVE EPS
7B	REMOVE EPS/CLADDING ENGINEER TO INSPECT EXIST WALL STRUCTURE; INSTALL NEW CLADDING OVER EXIST WALLS
8	REMOVE BRICK AND EXISTING MORTAR
9	REMOVE STEEL BEVELING ANGLE
10	REMOVE BALCONY GUARD
11	REMOVE CRACKED/DENEGED CONCRETE TOPPING
12	REMOVE EXIST WATERPROOFING
13	REMOVE AREAS OF LOOSE EXIST COATINGS FROM CONCRETE
14	REMOVE EXISTING FINISH BACK TO STONE / CONCRETE FACE AT VERTICAL PIERS
15	REMOVE EXISTING FINISH BACK TO STONE / CONCRETE FACE AT VERTICAL PIERS
16	REMOVE EXISTING FINISH BACK TO STONE / CONCRETE FACE AT VERTICAL PIERS
17	REMOVE METAL DIVIDER SCREEN
18	REMOVE LOCKER & ASSOCIATED STRUCTURE

REFER TO SHEET AD1-105U FOR DEMOLITION NOTES

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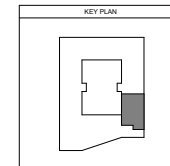
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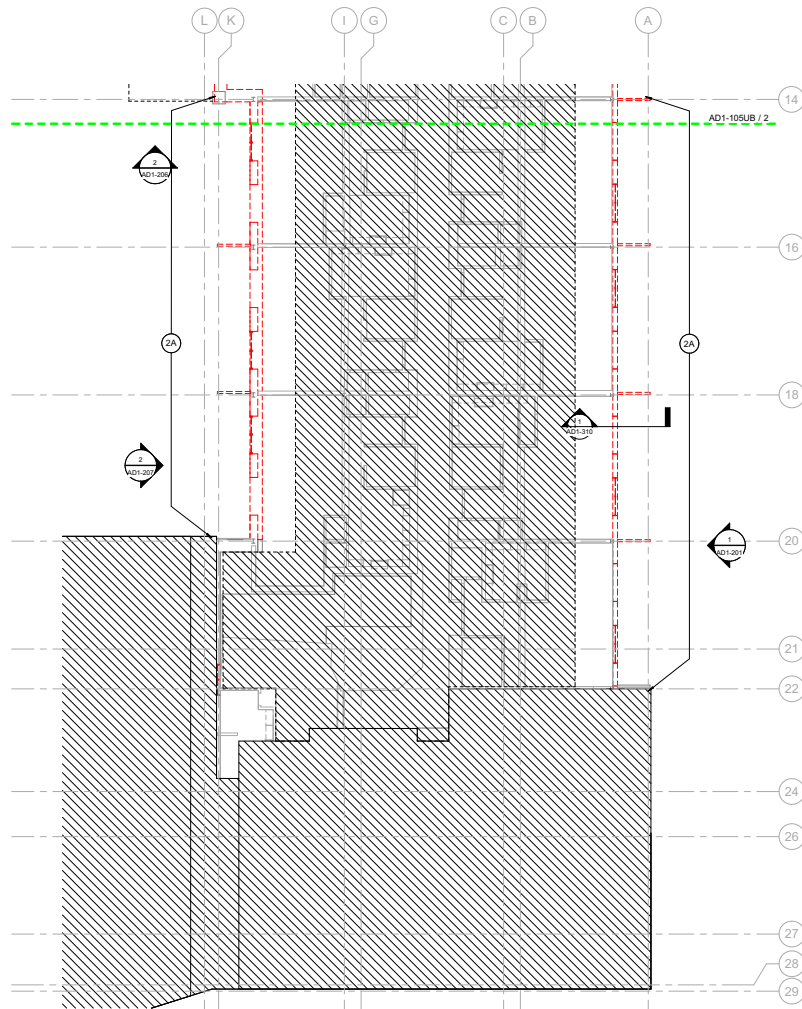
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NO	DESCRIPTION	DATE
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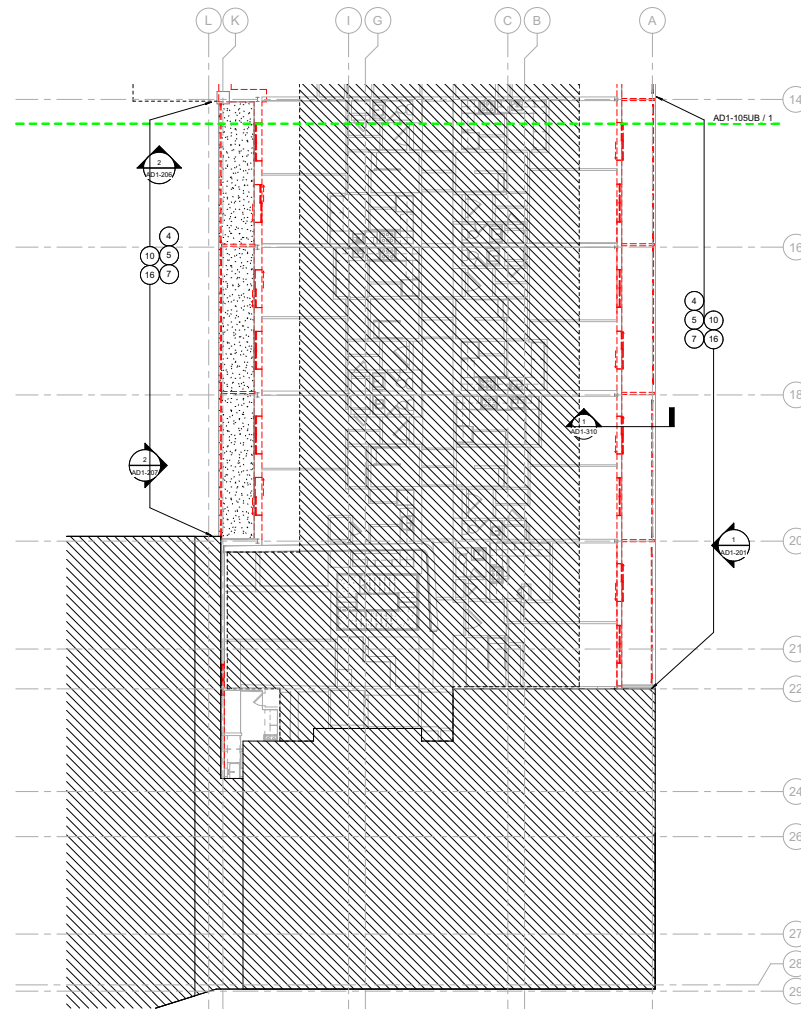


PROJECT NORTH

DATE: 04.16.2021
SCALE: 1/8" = 1'-0"
DRAWN BY: CLB
PROJECT NUMBER: 190653
DRAWING TITLE
DEMOLITION PLAN & RCP PART A - LEVEL 5U
AD1-105UA
DRAWING NUMBER
CONSTRUCTION DOCUMENTS



② DEMOLITION PART RCP A - LEVEL 5U
SCALE: 1/8" = 1'-0"



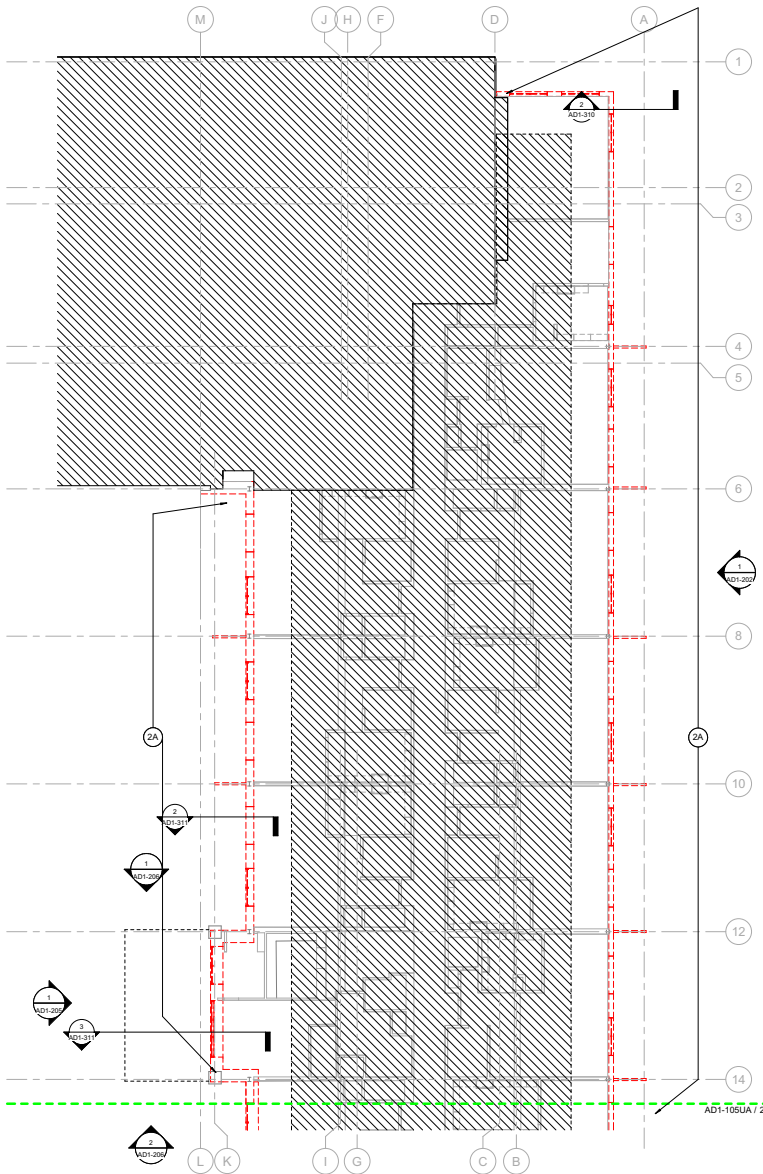
① DEMOLITION PART PLAN A - LEVEL 5U
SCALE: 1/8" = 1'-0"

DEMOLITION CEILING LEGEND	
	EXISTING GWB CEILING TO REMAIN
	EXISTING GWB CEILING TO BE REMOVED
	EXISTING OPEN BAFFLE CEILING TO BE REMOVED
	EXISTING CEILING PLANKS & ASSOCIATED LIGHT GAUGE METAL FRAMING TO BE REMOVED
TYPICAL SYMBOL NOMENCLATURE	
	DEMOLITION DEVICE
	DEMOLITION - SALVAGE FOR REUSE
	EXISTING LIGHT FIXTURE TO REMAIN
	EXISTING LIGHT FIXTURE TO BE REMOVED

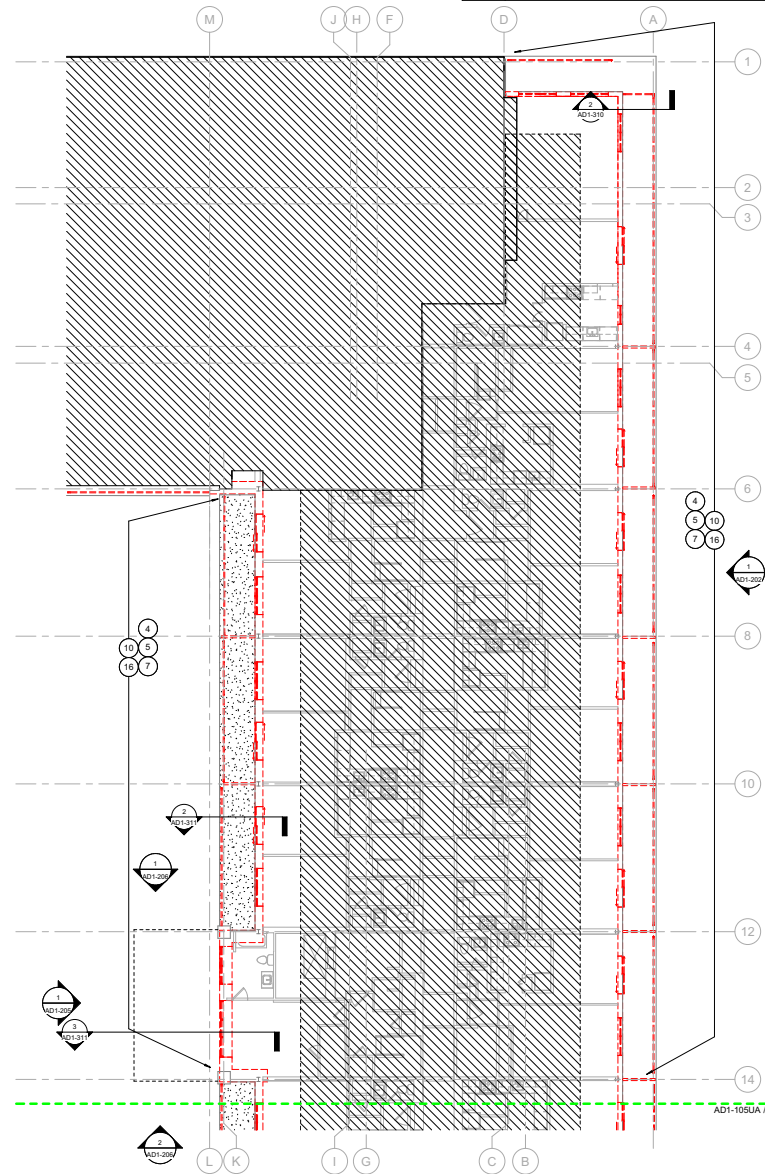
DEMOLITION PLAN LEGEND	
	EXISTING PARTITION TO BE REMOVED
	EXISTING PARTITION TO REMAIN
	EXISTING FLOOR FINISH TO BE REMOVED
	EXISTING DOOR TO BE REMOVED
	EXISTING DOOR TO REMAIN
	EXISTING TOPPING SLAB TO BE REMOVED

KEYNOTE LEGEND - DEMOLITION	
NOTE #	DEMO NOTE
1	REMOVE WALLS COORDINATE W/ NEW CONSTRUCTION DWGS
2	REMOVE CEILING SPRINKLER, DIFFUSERS & OTHER CEILING APPURTENANCES
3A	REMOVE LIGHTING TO BE REPLACED IN KIND
3	REMOVE FRESHLY LAYING & ADHESIVE AS INDICATED ON DWGS
4	REMOVE DOOR ASSEMBLY & ASSOCIATED EXTERIOR WALL FINISHES
4A	REMOVE DOOR(S) & FRAME(S) REPLACE BOTH & ASSOCIATED HARDWARE IN KIND WITH NEW, LOCKING WINNER
5	REMOVE WINDOW ASSEMBLY & ASSOCIATED EXTERIOR WALL FINISHES
6	REMOVE CORNER STONE
7	REMOVE EPS (AND METAL STUD BACKUP WALL WHERE APPLICABLE)
7A	REMOVE EPS
8	REMOVE BRICKLADING ENGINEER TO INSPECT EXIST WALL STRUCTURE, INSTALL NEW CLADDING OVER EXIST WALLS
9	REMOVE BRICK AND EXISTING MORTAR
9	REMOVE STEEL REINFORCING ANGLE
10	REMOVE BALCONY GUARD
11	REMOVE CRACKED/DENEGED CONCRETE TOPPING
12	REMOVE EXIST WATERPROOFING
13	REMOVE AREAS OF LOOSE EXIST COATINGS FROM CONCRETE
14	REMOVE EXIST FINISH BACK TO STONE / CONCRETE FACE AT VERTICAL PIERS
15	REMOVE EXIST FINISH BACK TO STONE / CONCRETE FACE AT VERTICAL PIERS
16	REMOVE METAL DIVIDER SCREEN
17	REMOVE LOCKER & ASSOCIATED STRUCTURE

REFER TO SHEET AD1-105U FOR DEMOLITION NOTES



DEMOLITION PART RCP B - LEVEL 5U
SCALE: 1/8" = 1'-0"



DEMOLITION PART PLAN B - LEVEL 5U
SCALE: 1/8" = 1'-0"

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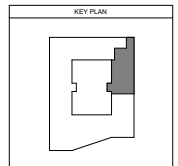
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NO	DESCRIPTION	DATE
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PROJECT NORTH

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PROJECT NUMBER: 190693
DRAWING TITLE
DEMOLITION PLAN &
RCP PART B - LEVEL 5U

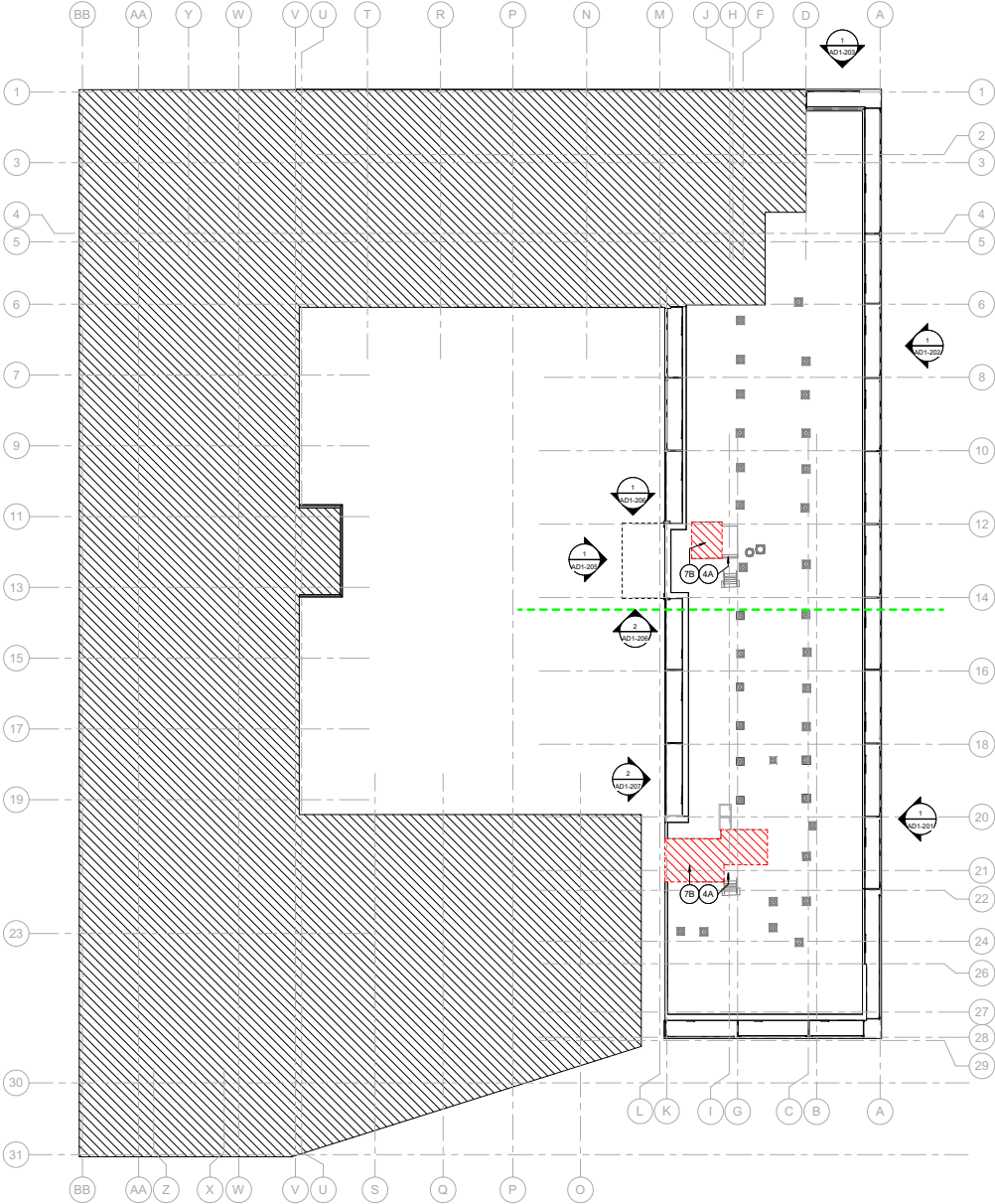
AD1-105UB

DRAWING NUMBER
CONSTRUCTION DOCUMENTS

DEMOLITION PLAN LEGEND	
	EXISTING PARTITION TO BE REMOVED
	EXISTING PARTITION TO REMAIN
	EXISTING FLOOR FINISH TO BE REMOVED
	EXISTING DOOR TO BE REMOVED
	EXISTING DOOR TO REMAIN
	EXISTING TOPPING SLAB TO BE REMOVED

REFER TO SHEET AD1-102 FOR DEMOLITION NOTES

KEYNOTE LEGEND - DEMOLITION	
NOTE #	DEMO NOTE
1	REMOVE WALLS COORDINATE W/ NEW CONSTRUCTION DWBS
2	REMOVE CEILING SPRINKLER DIFFUSERS & OTHER CEILING APPURTENANCES
3	REMOVE TOPPING TO BE REPLACED TO FINE
4	REMOVE FLOOR FINISH TO REMAIN
5	REMOVE FLOOR FINISH TO REMAIN
6	REMOVE DOOR ASSEMBLY & ASSOCIATED EXTERIOR WALL FINISHES
7	REMOVE DOOR(S) & FRAME(S), REPLACE BOTH & ASSOCIATED HARDWARE IN KIND WITH NEW DOORS/DOORWAYS
8	REMOVE WINDOW ASSEMBLY & ASSOCIATED EXTERIOR WALL FINISHES
9	REMOVE CORING STONE
10	REMOVE EPS (AND METAL STUD BACKUP WALL WHERE APPLICABLE)
11	REMOVE EPS
12	REMOVE EPSC/LADDING, ENGINEER TO INSPECT EXIST. WALL STRUCTURE, REINSTALL NEW CLADDING OVER EXIST. WALLS
13	REMOVE BRICK AND EXISTING MORTAR
14	REMOVE STEEL RELIEFING ANGLE
15	REMOVE BAL CONY GUARD
16	REMOVE CRACKED DEBONDED CONCRETE TOPPING
17	REMOVE EXIST. WATERPROOFING
18	REMOVE EXISTING FINISH BACK TO STONE/CONCRETE FACE AT VERTICAL PIERS
19	REMOVE EXISTING FINISH BACK TO STONE/CONCRETE PARAPET
20	REMOVE METAL DIVIDER SCREEN
21	REMOVE DOOR(S) & ASSOCIATED STRUCTURE



OVERALL DEMOLITION PLAN - ROOF
SCALE: 1/16" = 1'-0"

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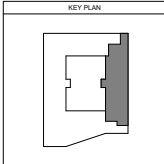
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DRAWN BY: MB
PROJECT NUMBER: 190653
DRAWING TITLE
DEMOLITION PLAN ROOF

AD1-106

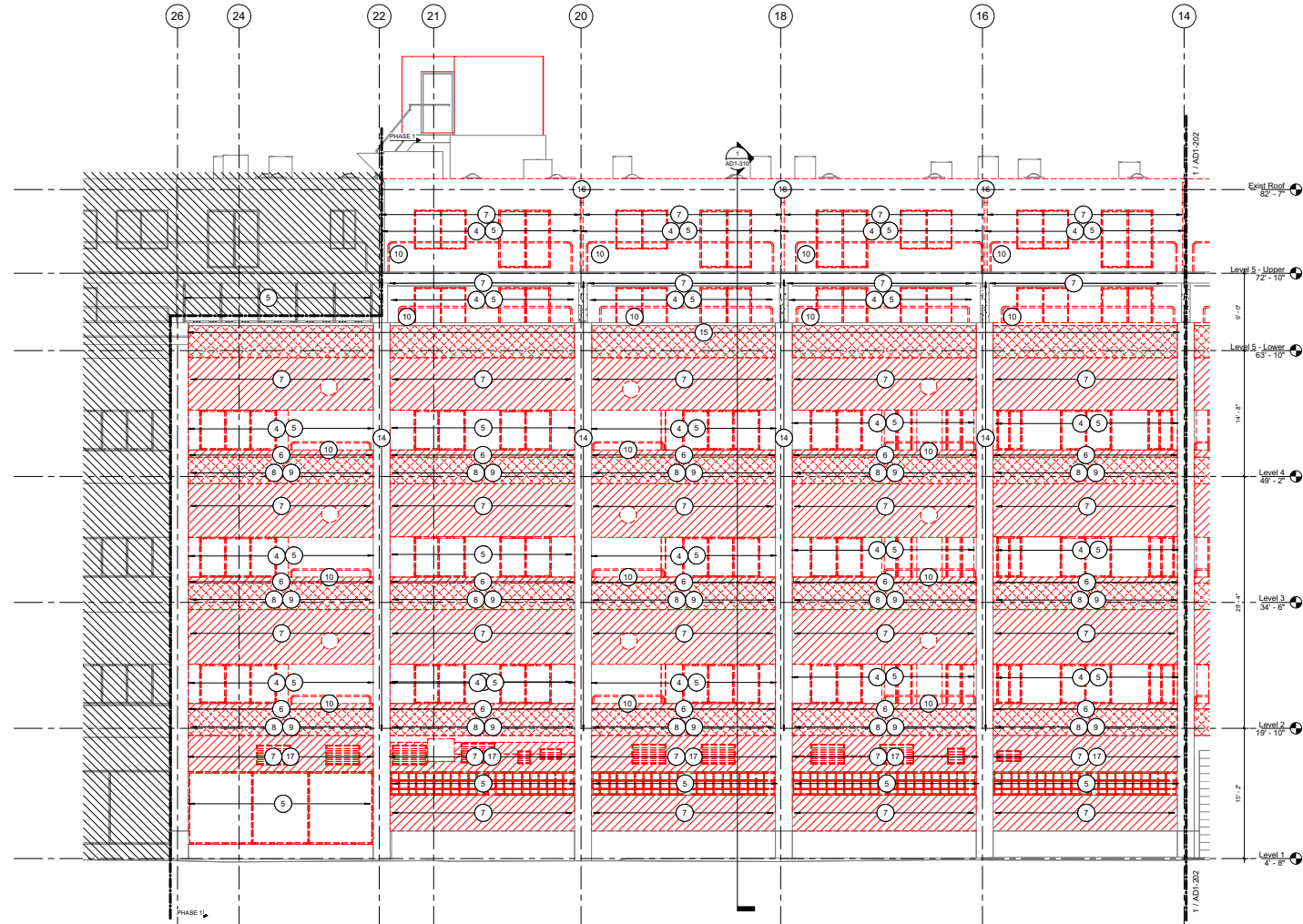
DRAWING NUMBER
CONSTRUCTION DOCUMENTS

DEMOLITION ELEVATION LEGEND

---	EXISTING ITEM TO BE REMOVED	▨	EXISTING AREA NOT IN SCOPE
---	EXISTING ITEM TO REMAIN	▨	EXISTING EPS CLAD CONCRETE & MASONRY WALL TO BE DEMOLISHED BACK TO CONCRETE
○	DEMOLITION SCOPE KEYNOTE	▨	EXISTING EPS CLAD METAL STUD WALL TO BE DEMOLISHED

KEYNOTE LEGEND - DEMOLITION

NOTE #	DEMO NOTE
1	REMOVE WALLS COORDINATE W/ NEW CONSTRUCTION DWGS
2	REMOVE CEILING SPRINKLER, DIFFUSERS & OTHER CEILING APPURTENANCES
3	REMOVE LIGHTING TO BE REPLACED IN KIND
4	REMOVE FRESHLY LAYED & ADHESIVE AS INDICATED ON DWGS
4A	REMOVE DOOR ASSEMBLY & ASSOCIATED EXTERIOR WALL FINISHES
5	REMOVE WINDOW ASSEMBLY & ASSOCIATED EXTERIOR WALL FINISHES
6	REMOVE CORING STONE
7	REMOVE EPS (AND METAL STUD BACK-UP WALL WHERE APPLICABLE)
7A	REMOVE EPS
7B	REMOVE EPS/CLADDING ENGINEER TO INSPECT EXIST WALL STRUCTURE; INSTALL NEW CLADDING OVER EXIST WALLS
8	REMOVE BRICK AND EXISTING MORTAR
9	REMOVE STEEL RELIEFING ANGLE
10	REMOVE BALCONY GUARD
11	REMOVE CRACKED/DENEGED CONCRETE TOPPING
12	REMOVE EXIST WATERPROOFING
13	REMOVE AREAS OF LOOSE EXIST COATINGS FROM CONCRETE
14	REMOVE EXIST FRESH BACK TO STONE / CONCRETE FACE AT VERTICAL PIERS
15	REMOVE EXIST FRESH BACK TO STONE / CONCRETE FACE AT VERTICAL PIERS
16	REMOVE METAL DIVIDER SCREEN
17	REMOVE LOCKER & ASSOCIATED STRUCTURE



DEMOLITION EAST ELEVATION - A
SCALE: 3/16" = 1'-0"

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KEY PLAN

PROJECT NORTH

DATE: 04.16.2021
SCALE: As indicated
DRAWN BY: MB
PROJECT NUMBER: 190653
DRAWING TITLE
DEMOLITION ELEVATION
PART A EAST

AD1-201

DRAWING NUMBER
CONSTRUCTION DOCUMENTS

DEMOLITION ELEVATION LEGEND	
	EXISTING ITEM TO BE REMOVED
	EXISTING ITEM TO REMAIN
	DEMOLITION SCOPE KEYNOTE
	EXISTING AREA NOT IN SCOPE
	EXISTING EPS CLAD CONCRETE & MASONRY WALL TO BE DEMOLISHED BACK TO CONCRETE
	EXISTING EPS CLAD METAL STUD WALL TO BE DEMOLISHED

KEYNOTE LEGEND - DEMOLITION	
NOTE #	DEMO NOTE
1	REMOVE WALLS COORDINATE W/ NEW CONSTRUCTION DWGS.
2	REMOVE CEILING SPRINKLER, DIFFUSERS & OTHER CEILING APPURTENANCES
3	REMOVE LIGHTING TO BE REPLACED IN KIND
4	REMOVE FRESHLY LAYED & ADHESIVE AS INDICATED ON DWGS
5	REMOVE DOOR ASSEMBLY & ASSOCIATED EXTERIOR WALL FINISHES
6	REMOVE WINDOW ASSEMBLY & ASSOCIATED EXTERIOR WALL FINISHES
7	REMOVE CORPUS STONE
8	REMOVE EPS (AND METAL STUD BACKUP WALL WHERE APPLICABLE)
9	REMOVE EPS
10	REMOVE EPS CLADDING ENGINEER TO INSPECT EXIST WALL STRUCTURE; INSTALL NEW CLADDING OVER EXIST WALLS
11	REMOVE BRICK AND EXISTING MORTAR
12	REMOVE STEEL RELIEFING ANGLE
13	REMOVE BALCONY GUARD
14	REMOVE CRACKED/DENEGED CONCRETE TOPPING
15	REMOVE EXIST WATERPROOFING
16	REMOVE AREAS OF LOOSE EXIST COATINGS FROM CONCRETE
17	REMOVE EXIST FINISH BACK TO STONE / CONCRETE FACE AT VERTICAL PIERS
18	REMOVE EXISTING FINISH BACK TO STONE / CONCRETE FACE AT VERTICAL PIERS
19	REMOVE METAL DIVIDER SCREEN
20	REMOVE LOCKER & ASSOCIATED STRUCTURE

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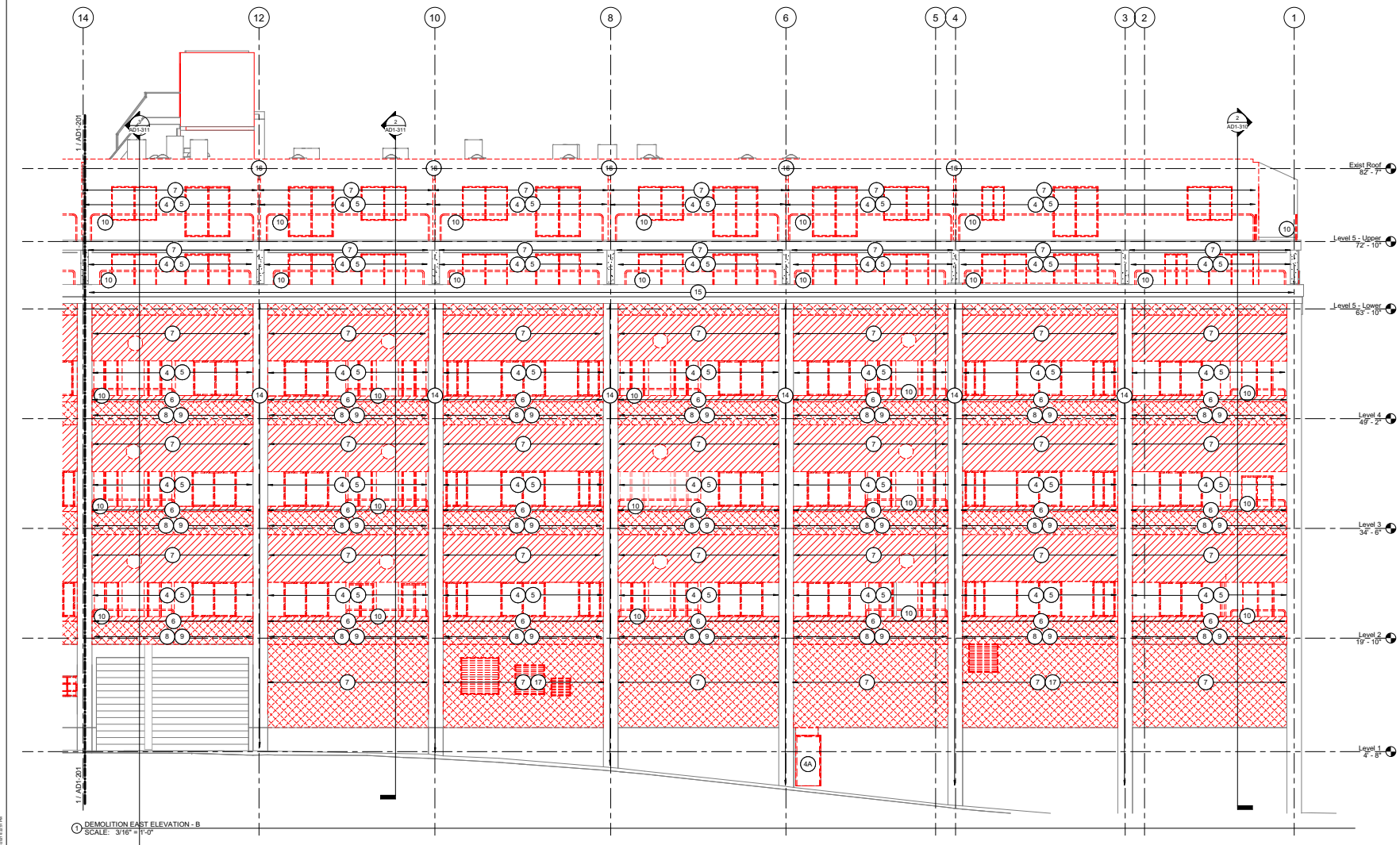
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NO	DESCRIPTION	DATE

KEY PLAN

PROJECT NORTH

DATE: 04.16.2021
SCALE: As indicated
DRAWN BY: MB
PROJECT NUMBER: 190653
DRAWING TITLE: DEMOLITION ELEVATION PART B EAST
AD1-202
CONSTRUCTION DOCUMENTS



DEMOLITION EAST ELEVATION - B
SCALE: 3/16" = 1'-0"

DEMOLITION ELEVATION LEGEND

---	EXISTING ITEM TO BE REMOVED	▨	EXISTING AREA NOT IN SCOPE
---	EXISTING ITEM TO REMAIN	▨	EXISTING EPS CLAD CONCRETE & MASONRY WALL TO BE DEMOLISHED BACK TO CONCRETE
○	DEMOLITION SCOPE KEYNOTE	▨	EXISTING EPS CLAD METAL STUD WALL TO BE DEMOLISHED

KEYNOTE LEGEND - DEMOLITION

NOTE #	DEMO NOTE
1	REMOVE WALLS COORDINATE W/ NEW CONSTRUCTION DWGS.
2	REMOVE CEILING SPRINKLER, DIFFUSERS & OTHER CEILING APPURTENANCES
2A	REMOVE LIGHTING TO BE REPLACED IN KIND
3	REMOVE FRESHLY LAYED & ADHESIVE AS INDICATED ON DWGS
4	REMOVE DOOR ASSEMBLY & ASSOCIATED EXTERIOR WALL FINISHES
4A	REMOVE DOOR(S) & FRAME(S); REPLACE BOTH & ASSOCIATED HARDWARE IN KIND WITH NEW; LOCKING WINNER
5	REMOVE WINDOW ASSEMBLY & ASSOCIATED EXTERIOR WALL FINISHES
6	REMOVE CORING STONE
7	REMOVE EPS (AND METAL STUD BACKUP WALL WHERE APPLICABLE)
7A	REMOVE EPS
7B	REMOVE EPS CLADDING; ENGINEER TO INSPECT EXIST WALL STRUCTURE; INSTALL NEW CLADDING OVER EXIST WALLS
8	REMOVE BRICK AND EXISTING MORTAR
9	REMOVE STEEL RELIEVING ANGLE
10	REMOVE BALCONY GUARD
11	REMOVE CRACKED/DENEGED CONCRETE TOPPING
12	REMOVE EXIST WATERPROOFING
13	REMOVE AREAS OF LOOSE EXIST COATINGS FROM CONCRETE
14	REMOVE EXISTING FINISH BACK TO STONE / CONCRETE FACE AT VERTICAL PIER
15	REMOVE EXISTING FINISH BACK TO STONE / CONCRETE FACE AT VERTICAL PIER
16	REMOVE METAL DIVIDER SCREEN
17	REMOVE COVER & ASSOCIATED STRUCTURE

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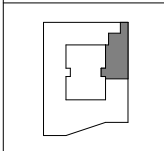
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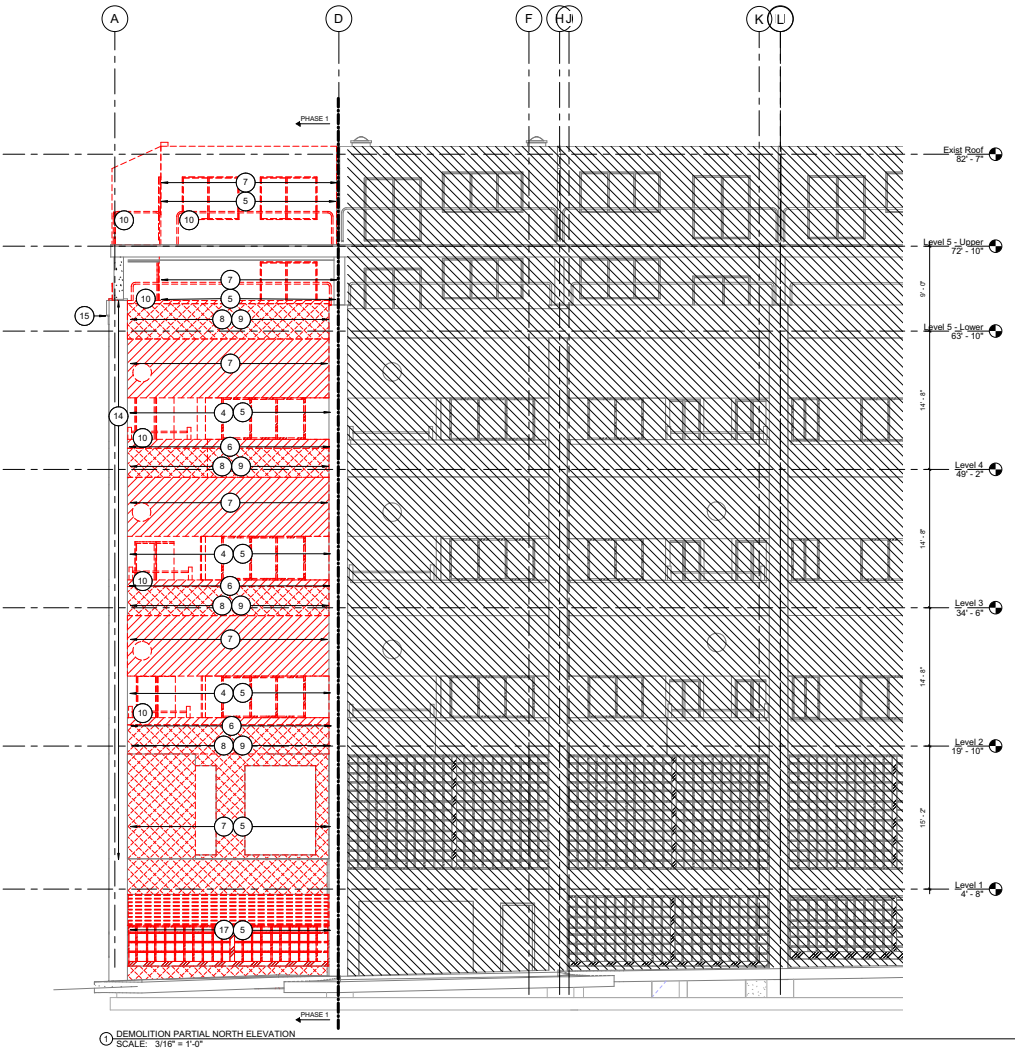
PROJECT NORTH



DATE: 04.16.2021
SCALE: As indicated
DRAWN BY: MB
PROJECT NUMBER: 190653
DRAWING TITLE
DEMOLITION ELEVATION NORTH

AD1-203

DRAWING NUMBER
CONSTRUCTION DOCUMENTS



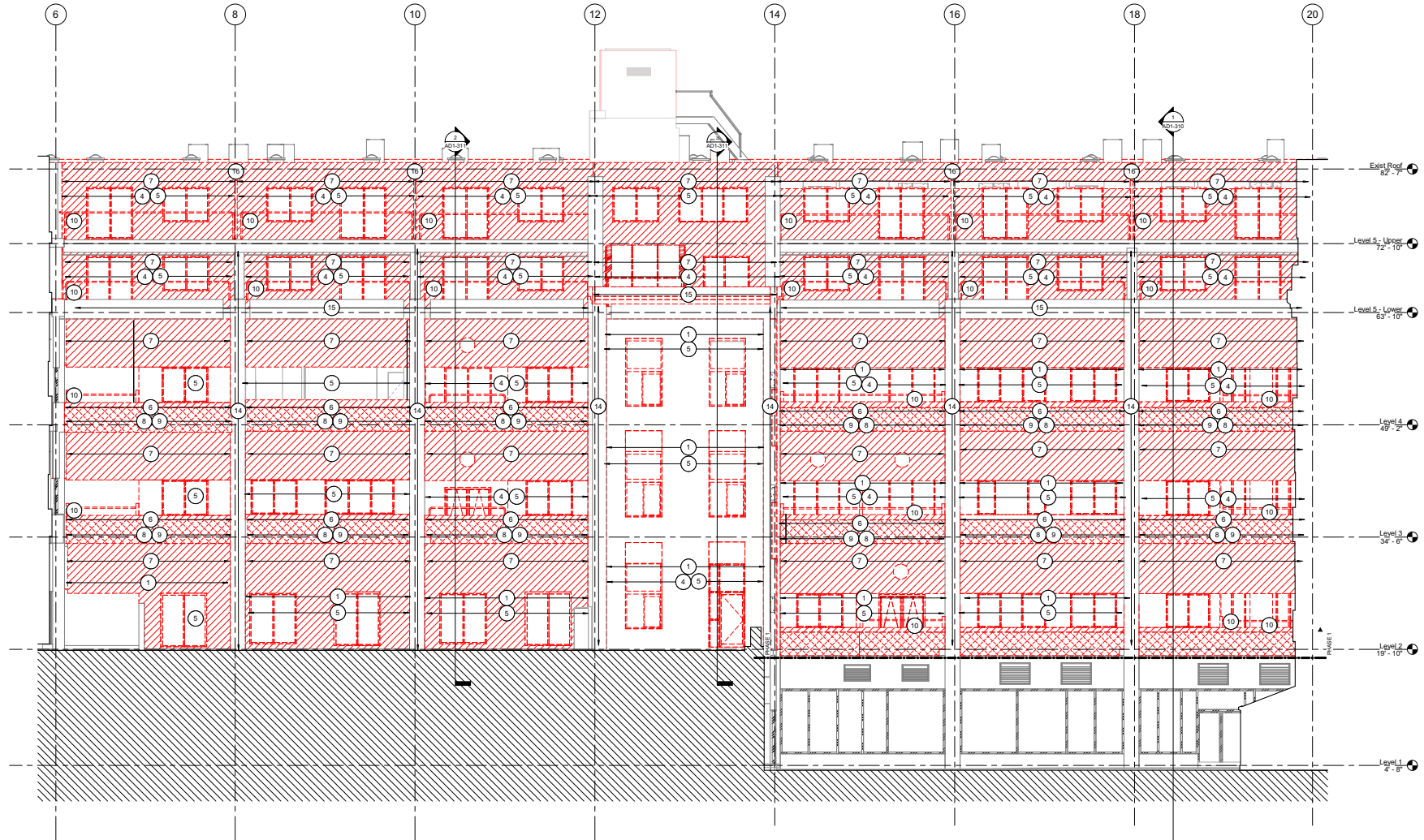
DEMOLITION PARTIAL NORTH ELEVATION
SCALE: 3/16" = 1'-0"

DEMOLITION ELEVATION LEGEND

---	EXISTING ITEM TO BE REMOVED	▨	EXISTING AREA NOT IN SCOPE
---	EXISTING ITEM TO REMAIN	▨	EXISTING EPS CLAD CONCRETE & MASONRY WALL TO BE DEMOLISHED BACK TO CONCRETE
○	DEMOLITION SCOPE KEYNOTE	▨	EXISTING EPS CLAD METAL STUD WALL TO BE DEMOLISHED

KEYNOTE LEGEND - DEMOLITION

NOTE #	DEMO NOTE
1	REMOVE WALLS COORDINATE W/ NEW CONSTRUCTION DWGS
2	REMOVE CEILING SPRINKLER, DIFFUSERS & OTHER CEILING APPURTENANCES
3	REMOVE LIGHTING TO BE REPLACED IN KIND
4	REMOVE FRESHLY LAYED & ADHESIVE AS INDICATED ON DWGS
5	REMOVE DOOR ASSEMBLY & ASSOCIATED EXTERIOR WALL FINISHES
6	REMOVE WINDOW ASSEMBLY & ASSOCIATED EXTERIOR WALL FINISHES
7	REMOVE CORNER STONE
8	REMOVE EPS (AND METAL STUD BACK-UP WALL WHERE APPLICABLE)
9	REMOVE EPS
10	REMOVE EPS CLADDING ENGINEER TO INSPECT EXIST WALL STRUCTURE, INSTALL NEW CLADDING OVER EXIST WALLS
11	REMOVE BRICK AND EXISTING MORTAR
12	REMOVE STEEL RELIEVING ANGLE
13	REMOVE CRACKED/DENEGED CONCRETE TOPPING
14	REMOVE EXIST WATERPROOFING
15	REMOVE AREAS OF LOOSE EXIST COATINGS FROM CONCRETE
16	REMOVE EXIST FINISH BACK TO STONE / CONCRETE FACE AT VERTICAL PIER
17	REMOVE EXISTING FINISH BACK TO STONE / CONCRETE FACE AT VERTICAL PIER
18	REMOVE METAL DIVIDER SCREEN
19	REMOVE LOCKER & ASSOCIATED STRUCTURE



1 DEMOLITION COURTYARD WEST ELEVATION - LOOKING EAST
SCALE: 3/16" = 1'-0"

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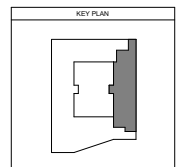
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PROJECT NORTH

STAMP

DATE: 04.16.2021
SCALE: As indicated
DRAWN BY: MB
PROJECT NUMBER: 190653
DRAWING TITLE: DEMOLITION ELEVATION WEST

AD1-205

DRAWING NUMBER
CONSTRUCTION DOCUMENTS

DEMOLITION ELEVATION LEGEND

---	EXISTING ITEM TO BE REMOVED	[Hatched Box]	EXISTING AREA NOT IN SCOPE
---	EXISTING ITEM TO REMAIN	[Cross-hatched Box]	EXISTING EPS CLAD CONCRETE & MASONRY WALL TO BE DEMOLISHED BACK TO CONCRETE
[Circle with X]	DEMOLITION SCOPE KEYNOTE	[Diagonal Hatched Box]	EXISTING EPS CLAD METAL STUD WALL TO BE DEMOLISHED

KEYNOTE LEGEND - DEMOLITION

NOTE #	DEMO NOTE
1	REMOVE WALLS COORDINATE W/ NEW CONSTRUCTION DWGS.
2	REMOVE CEILING SPRINKLERS, DIFFUSERS & OTHER CEILING APPURTENANCES
2A	REMOVE LIGHTING TO BE REPLACED IN KIND
3	REMOVE FRESHLY LAYED & ADHESIVE AS INDICATED ON DWGS
4	REMOVE DOOR ASSEMBLY & ASSOCIATED EXTERIOR WALL FINISHES
4A	REMOVE DOOR(S) & FRAME(S) REPLACE BOTH & ASSOCIATED HARDWARE IN KIND WITH NEW; COORD. WITH OWNER
5	REMOVE WINDOW ASSEMBLY & ASSOCIATED EXTERIOR WALL FINISHES
6	REMOVE CORNER STONE
7	REMOVE EPS (AND METAL STUD BACK-UP WALL WHERE APPLICABLE)
7A	REMOVE EPS
7B	REMOVE EPS CLADDING; ENGINEER TO INSPECT EXIST WALL STRUCTURE; INSTALL NEW CLADDING OVER EXIST WALLS
8	REMOVE BRICK AND EXISTING MORTAR
9	REMOVE STEEL RELIEVING ANGLE
10	REMOVE BALCONY GUARD
11	REMOVE CRACKED/DENEGED CONCRETE TOPPING
12	REMOVE EXIST WATERPROOFING
13	REMOVE AREAS OF LOOSE EXIST COATINGS FROM CONCRETE
14	REMOVE EXISTING FINISH BACK TO STONE / CONCRETE FACE AT VERTICAL PIERS
15	REMOVE EXISTING FINISH BACK TO STONE / CONCRETE FACE AT VERTICAL PIERS
16	REMOVE METAL DIVIDER SCREEN
17	REMOVE LOCKER & ASSOCIATED STRUCTURE

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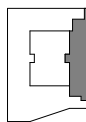
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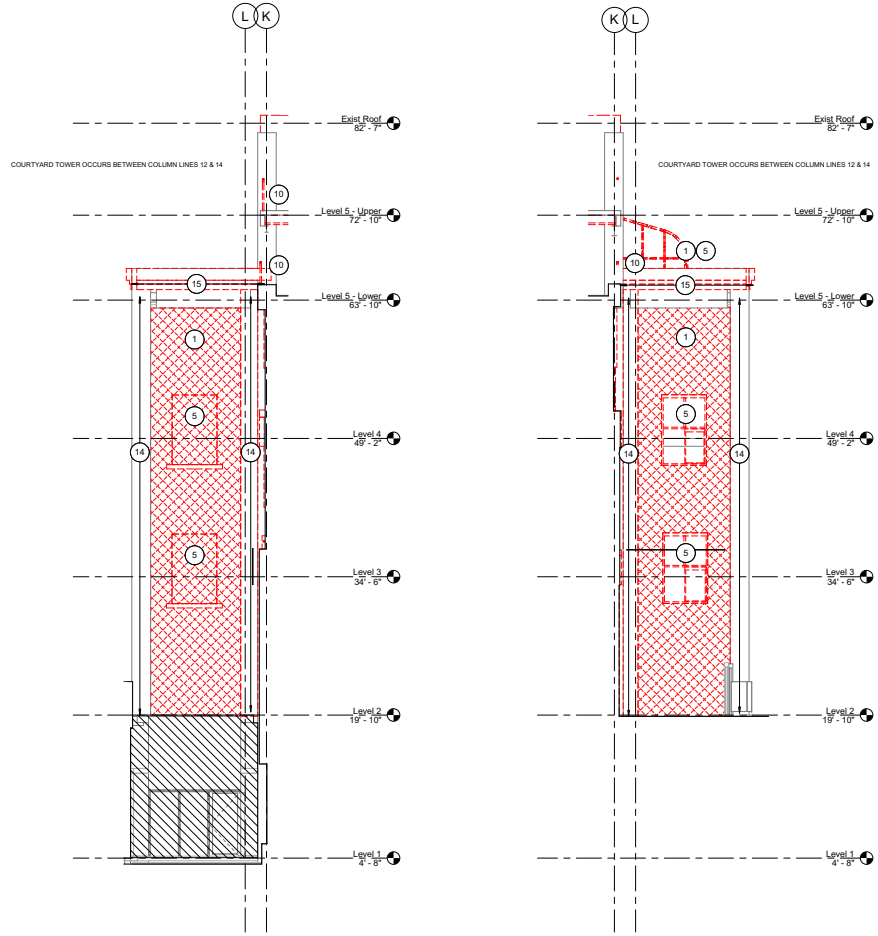


PROJECT NORTH STAMP

DATE: 04.16.2021
SCALE: As indicated
DRAWN BY: MB
PROJECT NUMBER: 190653
DRAWING TITLE
DEMOLITION ELEVATION
COURTYARD SHAFT

AD1-206

DRAWING NUMBER
CONSTRUCTION DOCUMENTS



① DEMOLITION COURTYARD PARTIAL SOUTH ELEVATION
SCALE: 3/16" = 1'-0"

① DEMOLITION COURTYARD PARTIAL NORTH ELEVATION
SCALE: 3/16" = 1'-0"

DEMOLITION ELEVATION LEGEND

EXISTING ITEM
TO BE REMOVED

EXISTING ITEM
TO REMAIN

DEMOLITION SCOPE
KEYNOTE

EXISTING AREA
NOT IN SCOPE

EXISTING EIFS CLAD CONCRETE
& MASONRY WALL, TO BE
DEMOLISHED BACK TO CONCRETE

EXISTING EIFS CLAD METAL STUD
WALL, TO BE DEMOLISHED

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SCALE: As indicated
DRAWN BY: MB
PROJECT NUMBER: 190653
DRAWING TITLE
DEMOLITION ELEVATION
TYPICALS

AD1-207

DRAWING NUMBER

CONSTRUCTION
DOCUMENTS

② TYPICAL DEMOLITION COURTYARD ELEVATION
SCALE: 1/4" = 1'-0"

4/16/2021 1:10:28 PM

DEMOLITION ELEVATION LEGEND

EXISTING ITEM TO BE REMOVED

EXISTING ITEM TO REMAIN

⊙

DEMOLITION SCOPE KEYNOTE

▨

EXISTING AREA NOT IN SCOPE

▨

EXISTING EIFS CLAD CONCRETE & MASONRY WALL TO BE DEMOLISHED BACK TO CONCRETE

▨

EXISTING EIFS CLAD METAL STUD WALL TO BE DEMOLISHED

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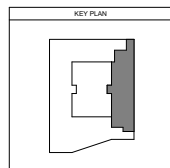
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DATE: 04.16.2021

SCALE: As indicated

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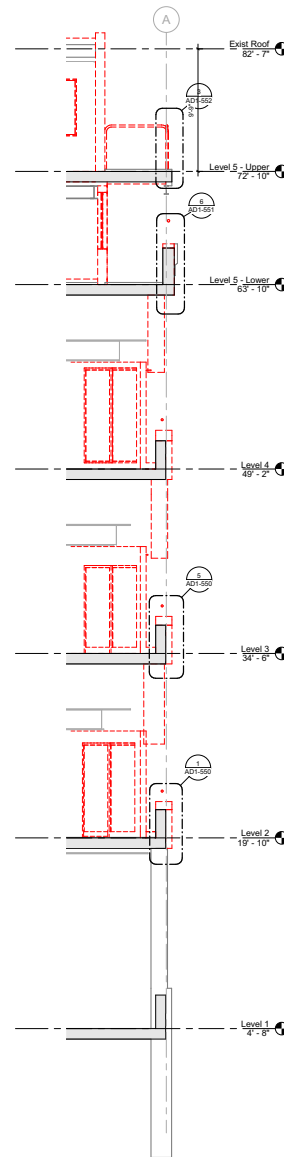
PROJECT NUMBER: 190653

DRAWING TITLE

EXTERIOR DEMOLITION WALL SECTION

AD1-310

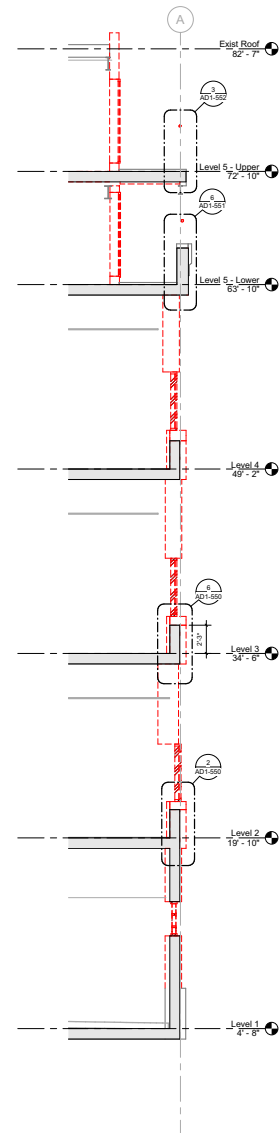
CONSTRUCTION DOCUMENTS



2

DEMOLITION WALL SECTION

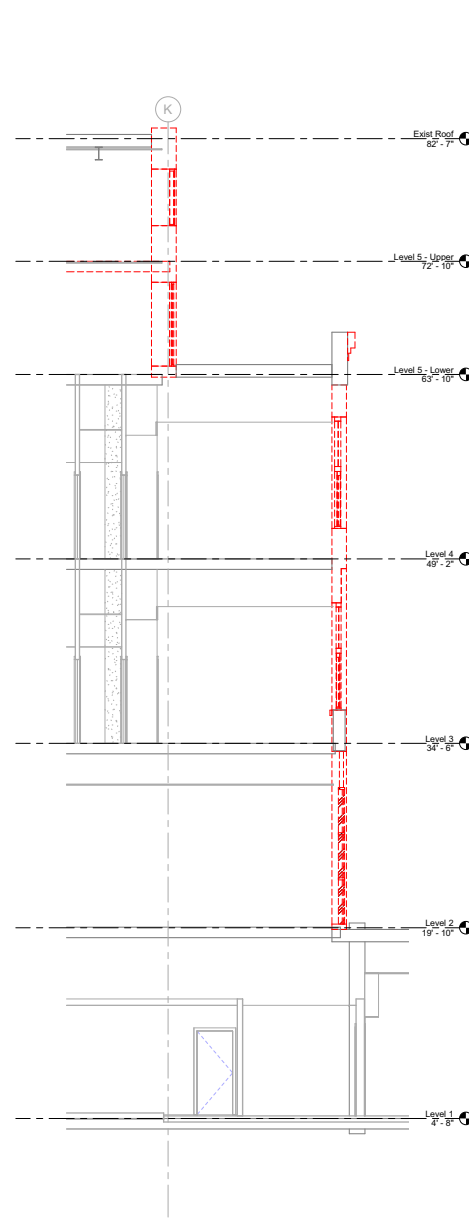
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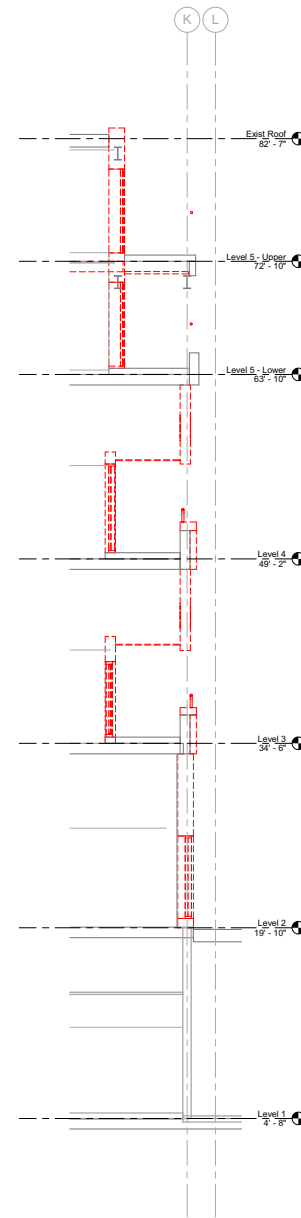
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DEMOLITION WALL SECTION

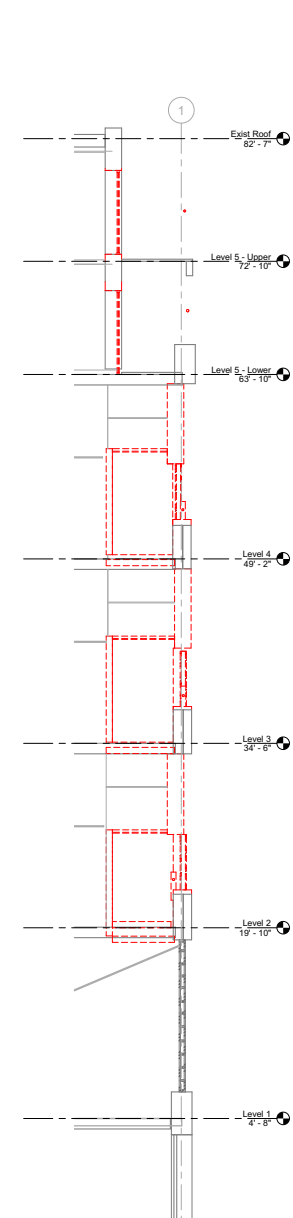
SCALE: 1/4" = 1'-0"



3 DEMOLITION WALL SECTION
SCALE: 1/4" = 1'-0"









② DEMOLITION WALL SECTION
SCALE: 1/4" = 1'-0"



① DEMOLITION WALL SECTION
SCALE: 1/4" = 1'-0"

DEMOLITION ELEVATION LEGEND

	EXISTING ITEM TO BE REMOVED		EXISTING AREA NOT IN SCOPE
	EXISTING ITEM TO REMAIN		EXISTING EIFS CLAD CONCRETE & MASONRY WALL TO BE DEMOLISHED BACK TO CONCRETE
	DEMOLITION SCOPE KEYNOTE		EXISTING EIFS CLAD METAL STUD WALL TO BE DEMOLISHED


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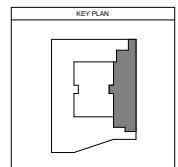
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PROJECT NORTH	STAMP
	
DATE 04.16.2021 SCALE As indicated DRAWN BY MS PROJECT NUMBER 190653 DRAWING TITLE <div style="text-align: center; font-weight: bold; font-size: 1.2em;">EXTERIOR DEMOLITION WALL SECTION</div>	

AD1-311

DRAWING NUMBER

CONSTRUCTION
DOCUMENTS

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BOSTON, MA 02215

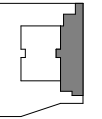
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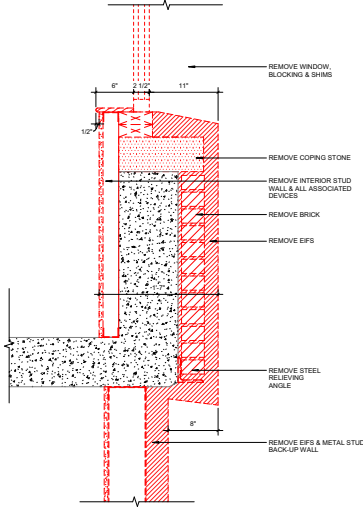
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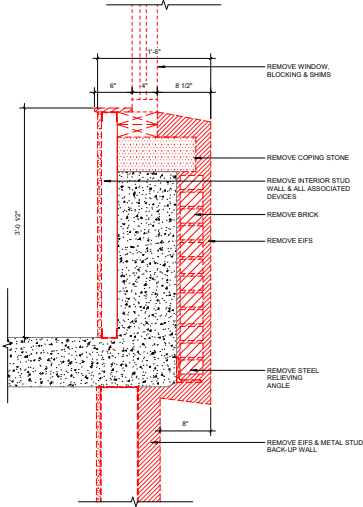
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DRAWN BY: MB
PROJECT NUMBER: 190653
DRAWING TITLE
DEMOLITION SECTION
DETAILS

AD1-550

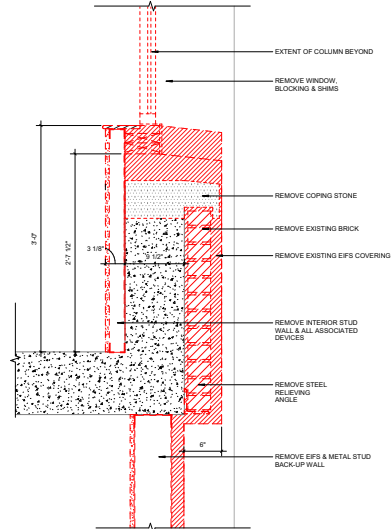
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CONSTRUCTION
DOCUMENTS



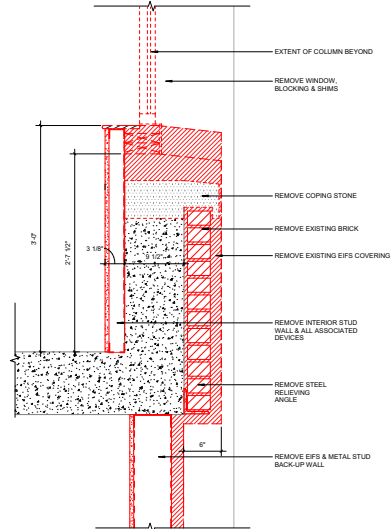
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SCALE: 1/12" = 1'-0"



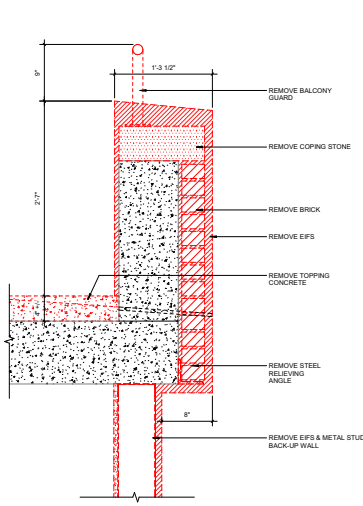
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SCALE: 1/12" = 1'-0"



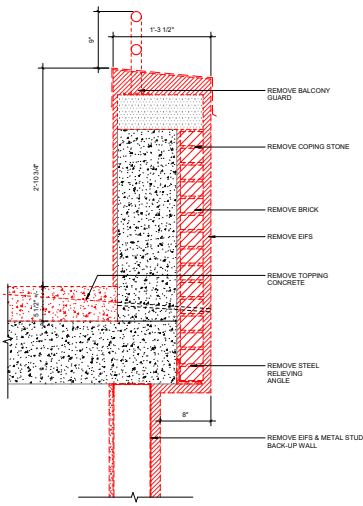
① DEMO SECTION DETAIL AT 2ND FL WINDOW (COURTYARD SIDE)
SCALE: 1/12" = 1'-0"



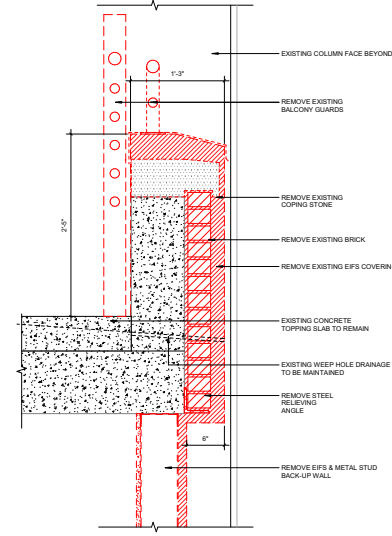
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SCALE: 1/12" = 1'-0"



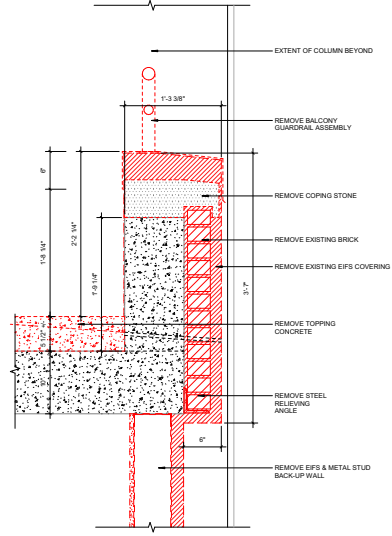
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SCALE: 1/12" = 1'-0"



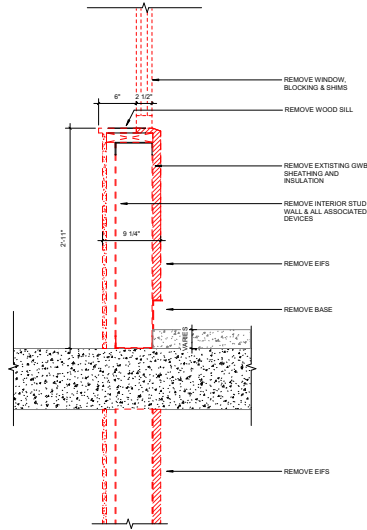
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SCALE: 1/12" = 1'-0"



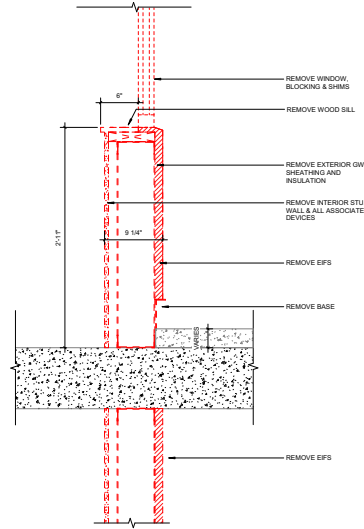
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SCALE: 1/12" = 1'-0"



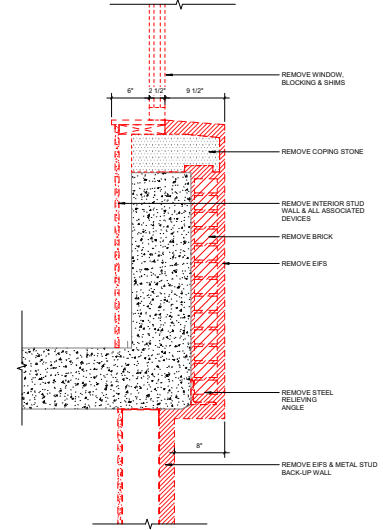
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SCALE: 1/12" = 1'-0"



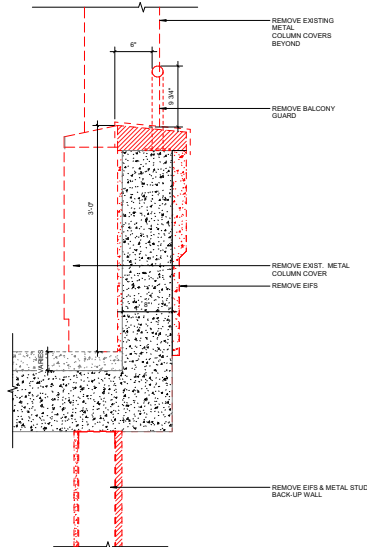
② DEMO SECTION DETAIL AT 5TH FL WINDOW (COURTYARD SIDE)
SCALE: 1 1/2" = 1'-0"



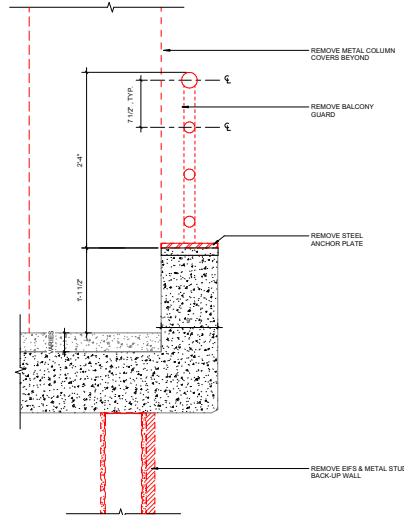
④ DEMO SECTION DETAIL AT 5TH FL WINDOW (STREET SIDE)
SCALE: 1 1/2" = 1'-0"



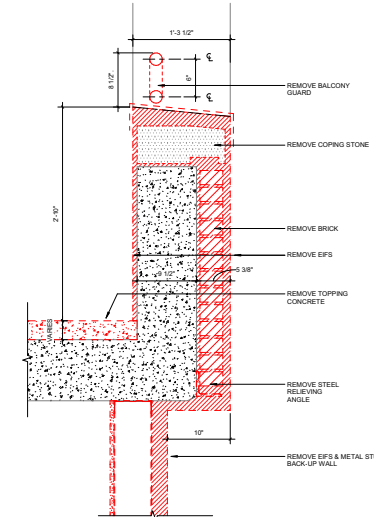
② DEMO SECTION DETAIL AT 4TH FL WINDOW (STREET SIDE)
SCALE: 1 1/2" = 1'-0"



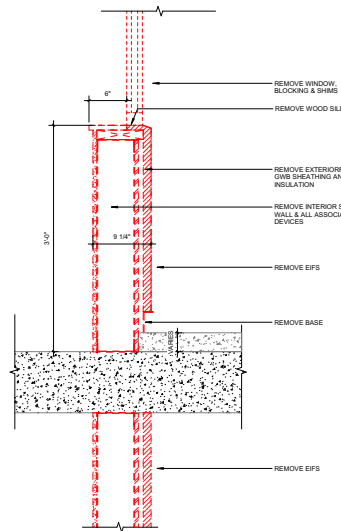
③ DEMO SECTION DETAIL AT 5TH FL BALCONY (COURTYARD SIDE)
SCALE: 1 1/2" = 1'-0"



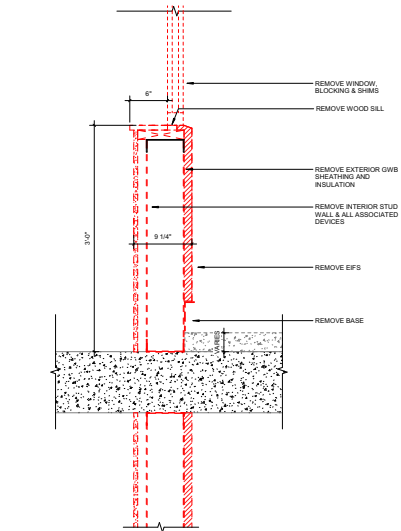
③ DEMO SECTION DETAIL AT 5TH FL BALCONY RAILING (STREET SIDE)
SCALE: 1 1/2" = 1'-0"



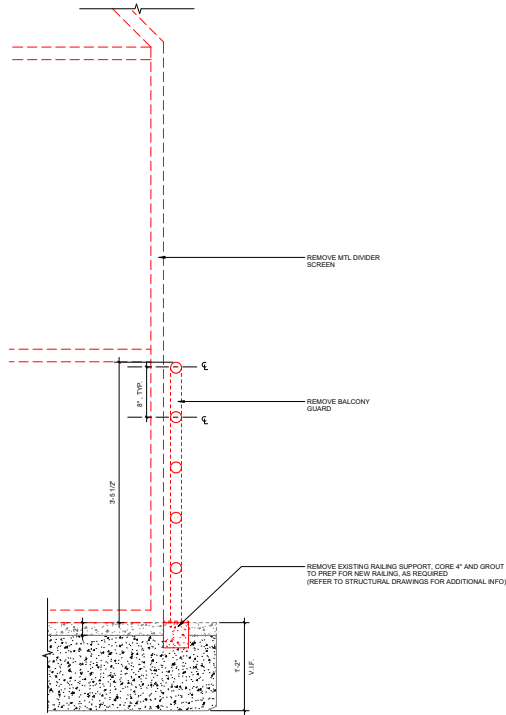
① DEMO SECTION DETAIL AT 4TH FL BALCONY RAILING (STREET SIDE)
SCALE: 1 1/2" = 1'-0"



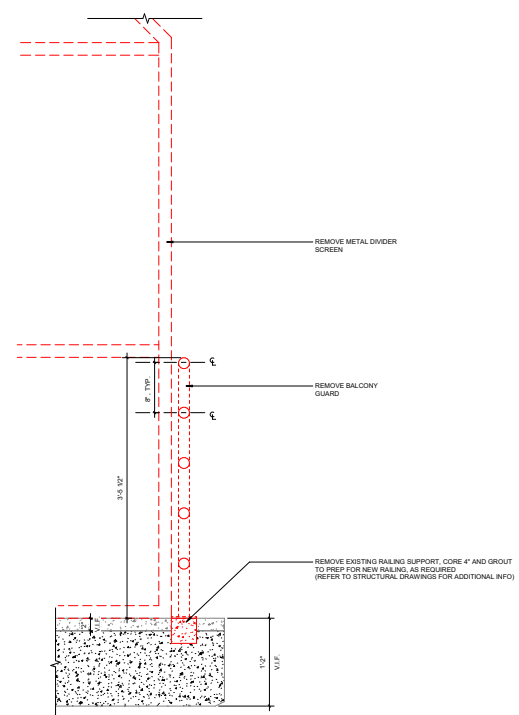
④ DEMO SECTION DETAIL AT 5TH FL WINDOW, UPPER (COURTYARD SIDE)
SCALE: 1 1/2" = 1'-0"



⑤ DEMO SECTION DETAIL AT 5TH FL WINDOW, UPPER (STREET SIDE)
SCALE: 1 1/2" = 1'-0"



③ DEMO SECTION DETAIL AT 5TH FL BALCONY RAILING, UPPER (COURTYARD SIDE)
SCALE: 1 1/2" = 1'-0"



① DEMO SECTION DETAIL AT 5TH FL BALCONY RAILING, UPPER (STREET SIDE)
SCALE: 1 1/2" = 1'-0"

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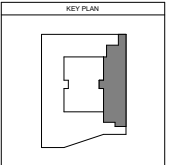
CONSULTANT INFORMATION

PROVIDED AS SUPPORTING
DOCUMENTATION TO BEC FOR
EVALUATION OF 2024 EXCELLENCE
IN BUILDING ENCLOSURE
CONSULTING AWARD.

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REVISIONS

NO	DESCRIPTION	DATE



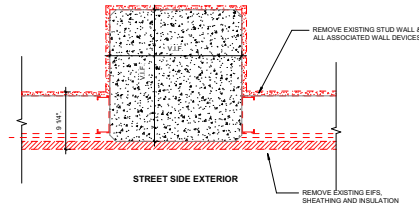
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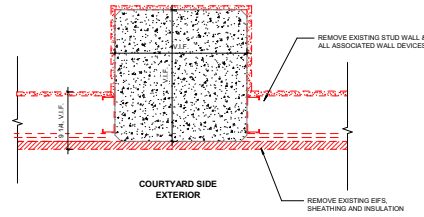
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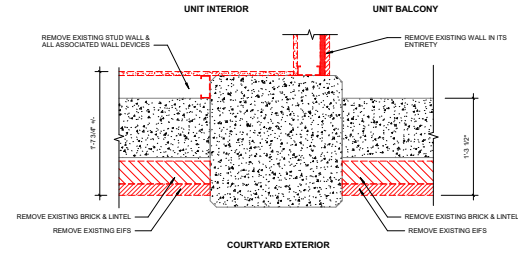
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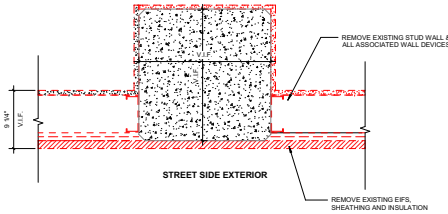
12 DEMO PLAN DETAIL OF COLUMN AT 5TH FL UPPER, COLUMN & EIFS FINISH, (STREET SIDE)
SCALE: 1 1/2" = 1'-0"



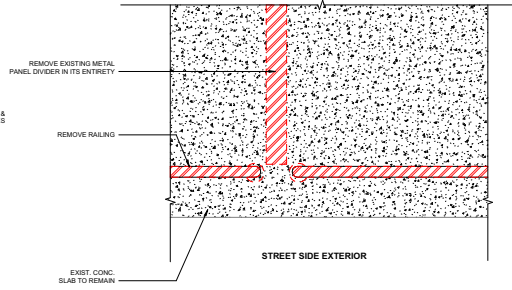
8 DEMO PLAN DETAIL OF COLUMN AT 5TH FL LOWER, COLUMN & EIFS FINISH, (COURTYARD SIDE)
SCALE: 1 1/2" = 1'-0"



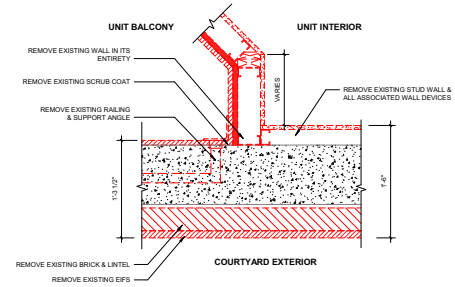
4 DEMO PLAN DETAIL OF COLUMN AT 3RD FL BALCONY CONDITION (COURTYARD SIDE)
SCALE: 1 1/2" = 1'-0"



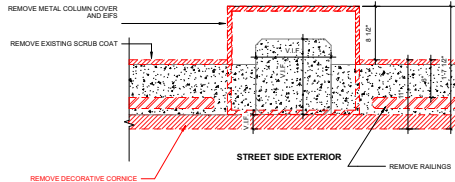
11 DEMO PLAN DETAIL OF COLUMN AT 5TH FL LOWER, COLUMN & EIFS FINISH, (STREET SIDE)
SCALE: 1 1/2" = 1'-0"



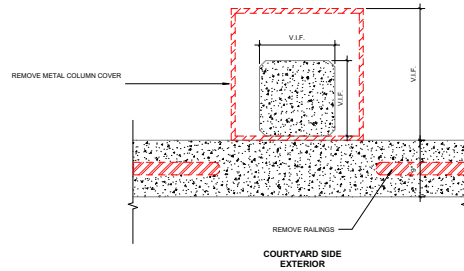
7 DEMO PLAN DETAIL OF BALCONY RAILINGS AT 5TH FL UPPER (STREET & COURTYARD SIDE)
SCALE: 1 1/2" = 1'-0"



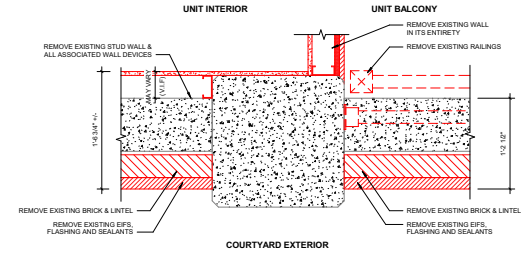
3 DEMO PLAN DETAIL OF COLUMN AT 2ND FL BALCONY RAILING (COURTYARD SIDE)
SCALE: 1 1/2" = 1'-0"



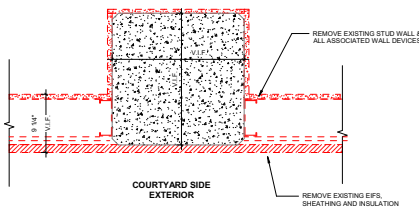
10 DEMO PLAN DETAIL OF BALCONY RAILINGS AT 5TH FL LOWER (STREET SIDE)
SCALE: 1 1/2" = 1'-0"



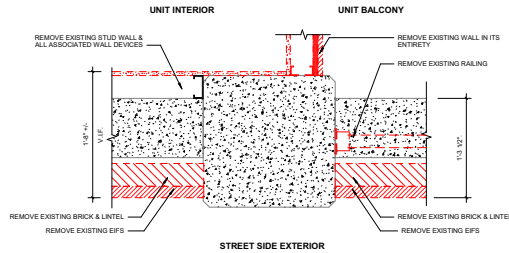
6 DEMO PLAN DETAIL OF BALCONY RAILINGS AT 5TH FL LOWER (COURTYARD SIDE)
SCALE: 1 1/2" = 1'-0"



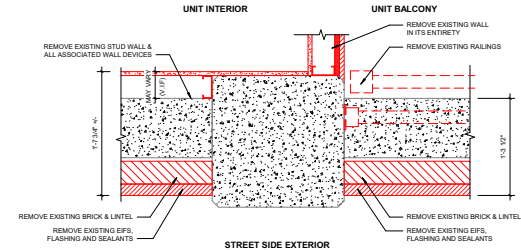
2 DEMO PLAN DETAIL OF COLUMN AT 2ND FL WINDOW WALL & BALCONY (COURTYARD SIDE)
SCALE: 1 1/2" = 1'-0"



9 DEMO PLAN DETAIL OF COLUMN AT 5TH FL UPPER, COLUMN & EIFS FINISH, (COURTYARD SIDE)
SCALE: 1 1/2" = 1'-0"



5 DEMO PLAN DETAIL OF COLUMN AT 4TH FL WINDOW WALL & BALCONY (STREET SIDE)
SCALE: 1 1/2" = 1'-0"



1 DEMO PLAN DETAIL OF COLUMN AT 2ND FL WINDOW WALL & BALCONY (STREET SIDE)
SCALE: 1 1/2" = 1'-0"