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1. THE EXISTING PLAZA ASSEMBLY, PLANTERS, CONCRETE TOPPINGS, WATERPROOFING MEMBRANE AND OTHER OVERBURDEN MATERIALS WILL BE REMOVED DOWN TO THE EXISTING CONCRETE SLAB.
2. THE EXISTING GRAVITY LOADS ON THE STRUCTURAL PLAZA DECK ARE NOT TO BE INCREASED TO EXCEED THE DESIGN LOADS OF THE EXISTING PLAS PER SECTION 3404.3 OF THE BUILDING CODE. REFER TO R4.0 AND R4.1 FOR LOAD ANALYSIS.
3. A NEW WATERPROOFING MEMBRANE WILL BE INSTALLED TO THE PREPARED STRUCTURAL SLAB.
4. NEW AREA DRAINS, GAS, WATER, AND ELECTRICAL CONDUIT PENETRATIONS ARE TO BE PROVIDED. REFER TO HGCR HARDSCAPE AND LANDSCAPE DEVELOPMENT DRAWINGS FOR LOCATIONS.
5. NEW OVERBURDEN MATERIALS CONSISTING OF ASPHALT PAVING, PLANTERS, PLANTINGS, AND OTHER MATERIALS WILL BE ADDED TO THE PLAZA TO PROVIDE THE AMENITY STRUCTURES WILL BE ADDED OVER THE PREPARED AND WATERPROOFED STRUCTURAL SLAB DESIGNED BY OTHERS. REFER TO HGCR HARDSCAPE AND LANDSCAPE DEVELOPMENT DRAWINGS FOR LOCATIONS.



# GO.0



PARK PLACE ON PEACHTREE  
PLAZA WATERPROOFING SCOPE  
2660 PEACHTREE ROAD NE  
ATLANTA, GEORGIA 30305

WJE PROJECT NO. 2020.7251.1



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- R4.1 PLAZA LEVEL EXISTING LOADING PLAN

APPLICABLE CODES AND STANDARDS:

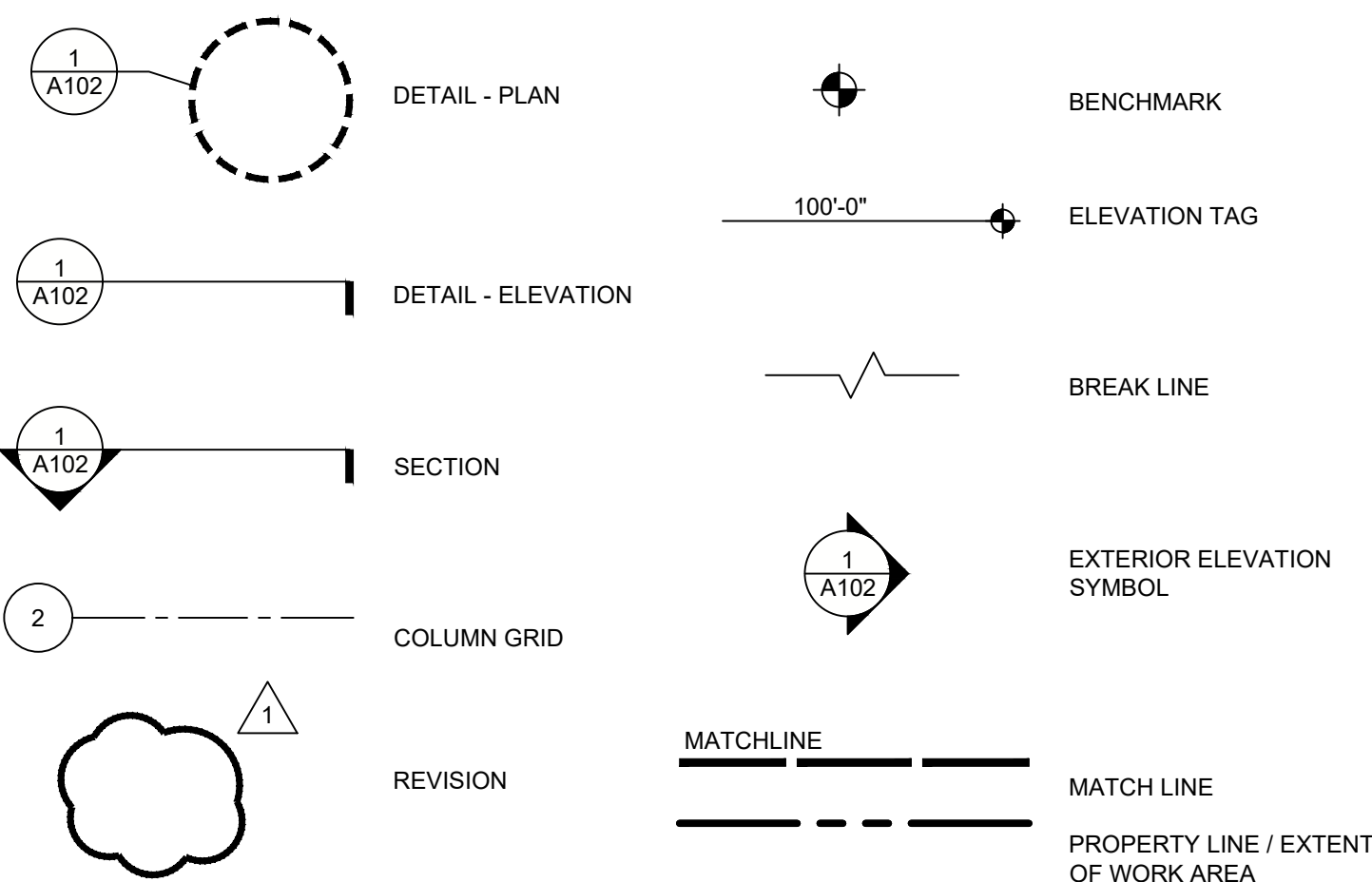
ALL WORK SHALL BE IN ACCORDANCE WITH THE CURRENT BUILDING CODE FOR ATLANTA, GEORGIA. THE PUBLICATIONS LISTED BELOW ARE THE GOVERNING CODES AND STANDARDS AND ARE REFERENCED BY THE BASIC DESIGNATION. IN THE CASE OF CONFLICTING REQUIREMENTS, THE BUILDING CODE SHALL GOVERN. THE STRUCTURAL CLASSIFICATION OF WORK IS ALTERATION LEVEL 2.

AISC	AMERICAN INSTITUTE OF STEEL CONSTRUCTION, SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS (AISC 360-16)
ASCE	AMERICAN SOCIETY OF CIVIL ENGINEERS, MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES (ASCE 7-16)
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS
AWS	AMERICAN WELDING SOCIETY, 2015 STRUCTURAL WELDING CODE - STEEL (AWS D1.1)
BUILDING CODE	INTERNATIONAL BUILDING CODE, 2018 EDITION, WITH GEORGIA STATE AMENDMENTS
OSHA	OCCUPATIONAL SAFETY AND HEALTH ACT
NRCA	NATIONAL ROOFING CONTRACTORS ASSOCIATION - NRCA WATERPROOFING MANUAL
SMACNA	SHEET METAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION, INC. - ARCHITECTURAL SHEET METAL MANUAL

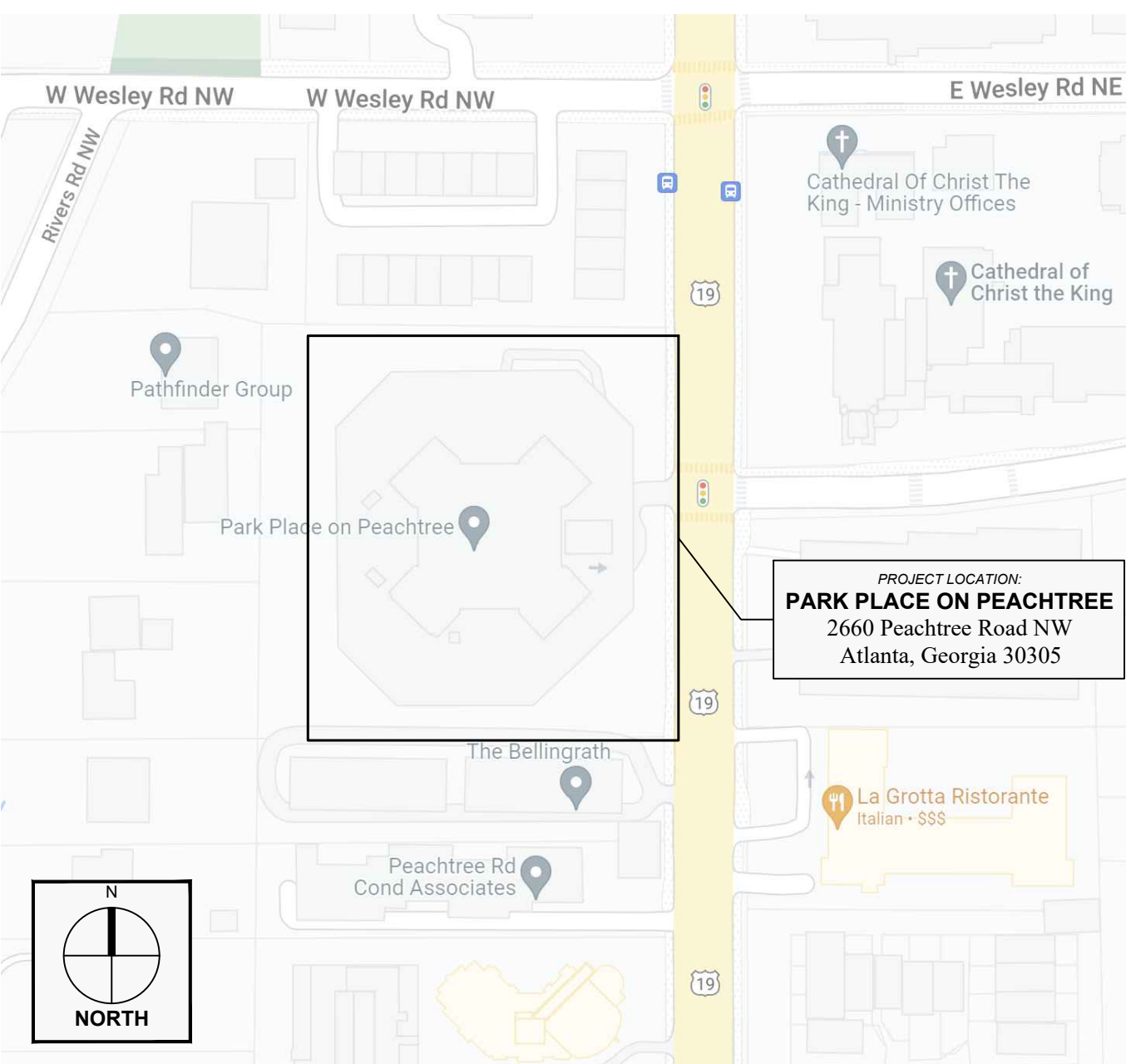
ABBREVIATIONS:

A/E	ARCHITECT/ENGINEER
ALT.	ALTERNATE
APPROX.	APPROXIMATELY
N.I.C.	NOT IN SCOPE
O.C.	ON CENTER
OPP.	OPPOSITE
SIM.	SIMILAR
S.I.A.	SLOPE IN DECK
SS	STAINLESS STEEL
TYP.	TYPICAL
U.O.N.	UNLESS OTHERWISE NOTED
HRA	HOT-RUBBERIZED ASPHALT
RCP	REFLECTED CEILING PLAN

SYMBOLS:



PROJECT LOCATION:



GENERAL NOTES:

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN FIELD. DO NOT SCALE DRAWINGS. DIMENSIONS SHOWN ON THE DRAWINGS ARE TAKEN FROM THE ORIGINAL CONSTRUCTION DOCUMENTS AND ARE PROVIDED FOR INFORMATION ONLY.
- CONTRACTOR SHALL VERIFY ALL QUANTITIES. QUANTITIES SHOWN ARE FOR ESTIMATING PURPOSES ONLY. ALLOWANCE QUANTITIES ARE ESTIMATED FROM A VISUAL SURVEY ONLY.
- THE CONTRACTOR SHALL COORDINATE REQUIREMENTS AND PROVIDE PROOF OF INSURANCE PRIOR TO THE START OF WORK.
- THERE SHALL BE COMPLETE COOPERATION BETWEEN THE GENERAL CONTRACTOR AND SUB-CONTRACTORS TO ENSURE SATISFACTORY PROGRESS AND PERFORMANCE OF THE WORK.
- THE CONTRACTOR SHALL VERIFY EXISTING PLUMBING AND ELECTRICAL LINES AND EQUIPMENT THAT WILL BE ACCESSED AS PART OF WORK PERFORMED. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY EQUIPMENT, LABOR, MATERIALS, AND COMPONENTS REQUIRED FOR THE TEMPORARY RELOCATION OF MECHANICAL/ELECTRICAL EQUIPMENT AND PLUMBING LINES DURING THE REPAIR WORK.
- THE CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, LICENSES AND GOVERNMENT FEES AS REQUIRED. THE CONTRACTOR SHALL COMPLY WITH CODES, ORDINANCES, RULES, REGULATIONS, ORDERS AND OTHER LEGAL REQUIREMENTS OF PUBLIC AUTHORITY, WHICH BEAR ON THE PERFORMANCE OF THE WORK.
- CONTRACTOR SHALL PROMPTLY SUBMIT VERBAL AND WRITTEN NOTICE TO THE ARCHITECT/ENGINEER OF OBSERVED VARIANCE OF THE CONTRACT DOCUMENTS FROM ACTUAL ON-SITE CONDITIONS.
- CONTRACTOR SHALL SUPPLY THE OWNER WITH MATERIAL SAFETY DATA SHEETS (MSDS) FOR EACH CHEMICAL THAT WILL BE BROUGHT ONTO THE JOB SITE AND SHALL COMPLY WITH THE REQUIREMENTS OF THE OSHA HAZARD COMMUNICATION STANDARD.
- THE CONTRACTOR MUST SUBMIT DEMOLITION AND CONSTRUCTION SCHEDULES TO THE OWNER AND ARCHITECT/ENGINEER FOR APPROVAL PRIOR TO BEGINNING DEMOLITION.
- THE PRODUCTS SPECIFIED ARE BELIEVED TO HAVE PROPERTIES ADEQUATE FOR SUCCESSFUL COMPLETION OF THE WORK. IF THE CONTRACTOR HAS FOUND THESE PRODUCTS TO BE UNACCEPTABLE OR HAS HAD DIFFICULTY USING THESE MATERIALS, THE CONTRACTOR SHALL IMMEDIATELY INFORM THE ARCHITECT/ENGINEER.
- CONTRACTOR IS RESPONSIBLE FOR MEANS AND METHODS OF THE REPAIR WORK.
- WISS, JANNEY, ELSTNER ASSOCIATES, INC. (WJE) SHALL NOT HAVE CONTROL OVER OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND SAFETY PROGRAMS IN CONNECTION WITH THE PROJECT. SINCE THESE ARE THE RESPONSIBILITY OF OTHERS, WJE SHALL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S SCHEDULES OR FAILURE TO CARRY OUT THE PROJECT IN ACCORDANCE WITH CONTRACT DOCUMENTS. WJE SHALL NOT HAVE CONTROL OVER OR CHARGE OF ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS, OR THEIR AGENTS OR EMPLOYEES, OR OF ANY OTHER NON-WJE PERSONS PERFORMING PORTIONS OF THE PROJECT.
- THE CONTRACTOR WILL LIMIT ON-SITE STORAGE OF MATERIALS TO THOSE AREAS IDENTIFIED BY THE OWNER. THE CONTRACTOR SHALL NOT UNREASONABLY ENCUMBER SITE WITH MATERIALS OR EQUIPMENT. THE MATERIALS AND EQUIPMENT SHALL BE CONFINED TO THE AREAS INDICATED IN THE CONTRACT DOCUMENTS OR BY THE DIRECTION OF THE OWNER OR ARCHITECT/ENGINEER. DO NOT LOAD STRUCTURE WITH WEIGHT THAT WILL ENDANGER STRUCTURE. CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR THE PROTECTION AND SAFEKEEPING OF PRODUCTS STORED ON PREMISES. CONTRACTOR SHALL MOVE ANY STORED MATERIAL OR PRODUCTS WHICH INTERFERE WITH OPERATIONS OF THE OWNER.
- WATER AND ELECTRICITY MAY BE TAKEN FROM BUILDING FOR CONSTRUCTION PURPOSES ONLY AT AREAS IDENTIFIED ACCEPTABLE BY THE OWNER. TOILET FACILITIES IN BUILDING SHALL NOT BE USED BY THE CONTRACTOR.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN REQUIRED DUST BARRIERS, CANOPIES, BARRICADES, PROTECTION AND WARNING LIGHTS IN GOOD CONDITION UNTIL THE COMPLETION OF THE WORK REQUIRING SUCH PROTECTION AND THEN REMOVE THE SAME. ALL CANOPIES AND BARRICADES SHALL COMPLY WITH FEDERAL, STATE AND LOCAL LAWS AND REGULATIONS.
- THE CONTRACTOR SHALL MAINTAIN PREMISES FREE FROM ACCUMULATIONS OF WASTE MATERIAL AND RUBBISH.
- THE CONTRACTOR IS TO RETURN DAMAGED AREAS TO ORIGINAL CONDITION.
- THE CONTRACTOR SHALL PROTECT GROUNDS AND LANDSCAPING WHEN PERFORMING WORK. THE CONTRACTOR WILL BE RESPONSIBLE FOR DAMAGE TO GROUNDS AND LANDSCAPING AND BE REQUIRED TO REPAIR OR REPLACE AS NECESSARY.
- CONTRACTOR SHALL COMPLY WITH ALL SECURITY PROCEDURES REQUIRED BY THE OWNER.
- COSTS CAUSED BY ILL-TIMED WORK, DEFECTIVE WORK OR WORK NOT CONFORMING TO THE CONTRACT DOCUMENTS, ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL PROVIDE SHORING, BRACING AND SUPPORT AS REQUIRED TO MAINTAIN THE STRUCTURAL INTEGRITY OF THE NEW OR EXISTING CONSTRUCTION DURING THE WORK. CONSTRUCTION DEBRIS SHALL BE REMOVED IN A MANNER THAT AVOIDS OVERLOADING ADJACENT STRUCTURAL MEMBERS.
- THE CONTRACTOR AND HIS RESPECTIVE SUBCONTRACTORS SHALL EACH HAVE FIVE OR MORE YEARS EXPERIENCE PERFORMING REPAIR WORK SIMILAR IN SIZE, TYPE, AND COMPLEXITY TO WHAT IS SHOWN IN THE CONTRACT DOCUMENTS.
- ENFORCE STRICT DISCIPLINE AND GOOD ORDER AMONG EMPLOYEES. DO NOT EMPLOY UNFIT PERSONS OR PERSONS NOT SKILLED IN THE ASSIGNED TASK.
- WHERE A DETAIL IS SHOWN FOR ONE CONDITION, IT SHALL APPLY FOR ALL LIKE OR SIMILAR CONDITIONS, EVEN THOUGH NOT SPECIFICALLY MARKED ON THE DRAWINGS.
- ALL CONSTRUCTION SHALL BE SUBJECT TO REVIEW BY THE ARCHITECT/ENGINEER BEFORE IT IS CONCEALED FROM VIEW. COORDINATE EXPECTED REVIEW ITEMS WITH THE ARCHITECT/ENGINEER PRIOR TO THE START OF CONSTRUCTION AND PROVIDE REASONABLE NOTIFICATION TO THE ARCHITECT/ENGINEER TO ALLOW FOR SUCH REVIEW AS THE WORK PROCEEDS.
- REMOVE AND DISPOSE OF IN A PROPER MANNER (OFF-SITE) ALL EXISTING MATERIAL REMOVED FROM THE BUILDING DURING THE COURSE OF THE WORK ON A DAILY BASIS. REMOVAL AND DISPOSAL SHALL BE SATISFACTORY TO THE ARCHITECT/ENGINEER AND OWNER.
- CONTRACTOR SHALL COORDINATE USE OF PREMISES UNDER THE DIRECTION OF THE OWNER. TEMPORARY DISRUPTIONS TO THE USE OF THE BUILDING BY EMPLOYEES AND PUBLIC, INCLUDING NOISE, DUST AND DISRUPTION OF UTILITIES, SHALL BE COORDINATED A MINIMUM OF 48 HOURS IN ADVANCE AND APPROVED BY THE OWNER. CONTRACTOR WORK NOT COORDINATED IN ADVANCE WHICH CAUSES DISRUPTIONS TO THE USE OF THE BUILDING BY EMPLOYEES AND PUBLIC MAY BE STOPPED BY THE OWNER AND SHALL NOT BE COMMENCED AGAIN UNTIL PROPER COORDINATION IS ACHIEVED. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS RESULTING FROM WORK STOPPAGES OR DELAYS CAUSED BY CONTRACTORS' LACK OF COORDINATION WITH THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE WATER TIGHTNESS OF THE AREAS OF THE STRUCTURE BEING WORKED ON DURING THE COURSE OF THE WORK. PROVIDE TEMPORARY PROTECTION OF THE EXISTING CONSTRUCTION FROM THE WEATHER UNTIL REMOVED PORTIONS ARE COMPLETELY REPLACE WITH NEW CONSTRUCTION. THE COST OF DAMAGE AND REPAIRS SHALL BE MADE AT NO COST TO THE OWNER.
- THESE DRAWINGS AND SPECIFICATIONS APPLY TO THE PROJECT IDENTIFIED IN THE TITLEBLOCK ONLY AND SHALL NOT BE USED FOR ANY OTHER PURPOSE WITHOUT THE EXPRESSED WRITTEN CONSENT OF WJE.
- IN THE EVENT OF CONFLICT BETWEEN THE DRAWINGS AND THE SPECIFICATIONS, THE MORE STRINGENT REQUIREMENT AND BETTER QUALITY SHALL GOVERN UNLESS WRITTEN NOTIFICATION IS PROVIDED BY THE ARCHITECT/ENGINEER.
- THE SCOPE OF WORK COVERED UNDER THIS PROJECT INCLUDES THE COST OF HOISTING, SCAFFOLD, PEDESTRIAN PROTECTION, STORAGE, DEMOLITION, DISPOSAL, CONCRETE WORK, MASONRY, CARPENTRY, LUMBER, MECHANICAL, ELECTRICAL, AND PLUMBING.
- SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR, AND THE CONTRACTOR SHALL CONDUCT WORK IN FULL AND COMPLETE ACCORDANCE WITH FEDERAL, STATE, AND LOCAL STATUTES, LAWS, AND ORDINANCES, INCLUDING, BUT NOT LIMITED TO OSHA AND EPA.
- THE EXISTING BUILDING MUST REMAIN IN OPERATION 100 PERCENT OF THE TIME. DEMOLITION REQUIRED SHALL PROCEED ONLY AT THE DIRECTION OF THE OWNER ACCORDING TO SCHEDULES AS MUTUALLY AGREED UPON. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY CONTROLS AS NECESSARY TO ALLOW FOR THE BUILDING OPERATIONS.
- DO NOT STOCKPILE CONSTRUCTION MATERIAL IN A MANNER THAT WILL OVERLOAD OR EXCEED THE CAPACITY OF THE STRUCTURAL MEMBERS.

SCOPE OF WORK:

- DEMOLITION OF EXISTING PLAZA
- REMOVE EXISTING OVERBURDEN FROM PLAZA DECK TO EXPOSE UNDERLYING STRUCTURAL CONCRETE DECK AND PERIMETER CAST-IN-PLACE PLANTER WALLS. THIS INCLUDES REMOVAL OF EXISTING ASPHALT PAVING, CONCRETE TOPPING, PEDESTAL/PAVER SYSTEMS, PLANTER FILL MATERIAL, AND ANY UNDERLYING WATERPROOFING MATERIAL.
    - EXISTING ASSEMBLY THICKNESSES HAVE BEEN APPROXIMATED BASED ON ORIGINAL DRAWINGS AND EXPLORATORY OPENINGS MADE DURING THE INVESTIGATION PHASE OF THIS PROJECT. NOTIFY A/E WHERE EXISTING ASSEMBLY THICKNESSES VARY FROM THAT ILLUSTRATED/IDENTIFIED IN THESE DRAWINGS.
  - SELECTIVE DEMOLITION OF EXISTING CONCRETE ELEMENTS INCLUDES SELECT CONCRETE PLANTER WALLS AND PERIMETER CURBS ILLUSTRATED ON SHEET R1.0.
    - AREAS MARKED AS "PRIVATE TERRACES" ON SHEET R1.0 ARE RESIDENT-OWNED SPACES NOT TO BE INCLUDED IN SCOPE. COORDINATE DEMOLITION OF EXISTING ASSEMBLIES TO STOP AT PERIMETER OF PRIVATE TERRACE AREAS. ANY WALLS/STRUCTURES ENCLOSING PRIVATE TERRACE AREAS TO REMAIN UNLESS OTHERWISE SPECIFIED.
    - SELECT WATER LEAKAGE LOCATIONS HAVE BEEN IDENTIFIED WITHIN THE PRIVATE TERRACE AREA ON THE SOUTH SIDE OF THE BUILDING. SELECTIVE DEMOLITION TO INCLUDE REMOVAL OF THE EXISTING OVERBURDEN AS NECESSARY TO IDENTIFY THE SOURCE(S) OF THESE LEAKS FOR REPAIR. THIS SELECTIVE DEMOLITION MAY INCLUDE WATER TESTING BY WJE TO CONFIRM LEAKAGE PATHS. IF WATER TESTING IS REQUIRED WJE WILL COORDINATE WATER TESTING TO COINCIDE WITH SELECTIVE DEMOLITION TO REVIEW EXISTING CONDITIONS.
  - REMOVAL OF OVERBURDEN AT SOUTHEAST CORNER OF PLAZA DECK TO INCLUDE REMOVAL OF APPROXIMATELY 18 INCHES OF SOIL AT EXISTING SLAB DEPRESSION MEASURING APPROXIMATELY 22 FEET BY 110 FEET IN ORDER TO INSTALL NEW CONCRETE SLAB ASSEMBLY TO FILL THIS DEPRESSION. SEE DETAIL 6/R3.0.
  - DEMOLISH THE EXISTING FRONT ENTRANCE PORTE-COCHERE STRUCTURE IN ACCORDANCE WITH THE DEMOLITION PLAN PROVIDED BY THE PORTE-COCHERE DESIGNER.
- PLAZA DECK DRAINAGE
- REMOVE EXISTING DRAINS FROM PLAZA DECK IN ACCORDANCE WITH DRAIN LEGEND PROVIDED ON SHEET R1.0. WHEN REMOVING EXISTING DRAIN BODIES, REVIEW EXISTING DRAIN ASSEMBLY ELEMENTS EMBEDDED IN SLAB WITH AOR (E.G. DRAIN BOWLS), EXISTING EMBEDDED ELEMENTS IN GOOD CONDITION TO REMAIN. REMOVE SEVERELY CORRODED EMBEDDED DRAIN ASSEMBLY ELEMENTS AND REPLACE TO MATCH EXISTING. REMOVE ASSOCIATED DRAIN PIPING IN GARAGE BELOW IN GENERAL ACCORDANCE WITH SHEET R1.3 WHERE EXISTING DRAIN ASSEMBLIES ARE PERMANENTLY REMOVED.
    - ED1 - EXISTING DRAIN PENETRATION TO REMAIN BENEATH PEDESTAL PAVERS. INSTALL NEW CLAMPING RING AND STRAINER, INTEGRATING DRAIN WITH NEW HRA ASSEMBLY IN GENERAL ACCORDANCE WITH DETAIL 16/R3.2.
    - ED2 - EXISTING DRAIN PENETRATION TO REMAIN WITHIN PLANTER. INSTALL NEW PLANTER DRAIN ASSEMBLY IN ACCORDANCE WITH DETAIL 9/R3.2.
    - ED3 - EXISTING DRAIN PENETRATION TO REMAIN AT CONCRETE TOPPING SLAB LOCATION. INSTALL NEW DRAIN IN ACCORDANCE WITH DETAIL 16/R3.2.
    - ED4 - EXISTING DRAIN ASSEMBLY WITHIN PRIVATE TERRACE AREA TO REMAIN.
    - ED5 - EXISTING DRAIN ASSEMBLY TO BE REMOVED AND DRAIN PENETRATION IN STRUCTURAL SLAB TO BE FILLED WITH CONCRETE PATCH MATERIAL.
    - CB - EXISTING PARKING LOT DRAIN COLLECTION BOXES AT BASE OF PLANTERS TO BE REMOVED.
    - TD - EXISTING TRENCH DRAINS INSTALLED AT BASE OF PLANTER WALLS TO BE REMOVED. FILL TRENCH DRAIN AND DRAIN PENETRATION VOIDS IN STRUCTURAL SLAB WITH CONCRETE PATCH MATERIAL.
  - INSTALL NEW DRAIN AT NEW DRAIN PENETRATIONS IN ACCORDANCE WITH DRAIN LEGEND PROVIDED ON SHEET R1.1. INSTALL NEW ASSOCIATED PIPING IN GENERAL ACCORDANCE WITH SHEET R1.3.
    - ND1 - INSTALL NEW DRAIN WITHIN ASPHALT PAVING AREA IN ACCORDANCE WITH DETAIL 2/R3.0.
    - ND2 - INSTALL NEW PLANTER DRAIN WITHIN NEW PLANTER AREA IN ACCORDANCE WITH DETAIL 9/R3.2.
    - ND3 - INSTALL NEW DRAIN IN NEW CONCRETE TOPPING SLAB IN ACCORDANCE WITH DETAIL 16/R3.2.
- HOT-RUBBERIZED ASPHALT WATERPROOFING
- INSTALL NEW FABRIC-REINFORCED HOT-RUBBERIZED ASPHALT (HRA) WATERPROOFING ASSEMBLY OVER THE PLAZA DECK. WATERPROOFING ASSEMBLY TO INCLUDE UNCURED NEOPRENE FLASHING AT PENETRATIONS AND TRANSITIONS AND A PROTECTION SHEET EMBEDDED IN HRA. ROOT BARRIER TO BE INCLUDED IN PROTECTION COURSE WITHIN PLANTERS. WHERE SPECIFIED INSTALL NEW DIMPLE-BOARD TYPE DRAINAGE MAT WITH INTEGRAL FILTER FABRIC OVER NEW WATERPROOFING ASSEMBLY. WHERE SPECIFIED INSTALL NEW CRUSHED GRAVEL OR EXTRUDED POLYSTYRENE (XPS) INSULATION BOARD OVER WATERPROOFING AND DRAINAGE ASSEMBLY.
    - EXISTING STRUCTURAL DRAWINGS INDICATE SLOPE IS PROVIDED IN STRUCTURE FROM BUILDING PERIMETER TO EXISTING DRAINS AT PERIMETER OF PLAZA DECK (ILLUSTRATED ON SHEET R1.1). EXISTING SLOPE TO BE CONFIRMED DURING DEMOLITION OF EXISTING OVERBURDEN.
    - ADD SLOPED BONDED OVERLAY TO STRUCTURAL DECK AS NECESSARY TO PROVIDE SLOPE TO DRAINS.
  - ENSURE ALL STRUCTURAL DECK PENETRATIONS ARE SPACED A MINIMUM OF 4' APART TO ALLOW FOR FLASHING OF PENETRATIONS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AS ILLUSTRATED IN DETAIL 16/R3.2.
  - ENCAPSULATE ALL NEW STRUCTURAL ATTACHMENTS AT PLAZA DECK IN GENERAL ACCORDANCE WITH DETAILS 4/R3.1 AND 8/R3.2.
  - ENSURE ALL NEW CONCRETE MEMBERS INTEGRATED WITH STRUCTURAL DECK ARE WATERPROOFED IN ACCORDANCE WITH DETAIL 8/R3.2.
- NEW OVERBURDEN TO BE INSTALLED AT LOCATIONS OF AND IN ACCORDANCE WITH LANDSCAPING/HARDSCAPE DRAWINGS.
- NEW CONCRETE PAVEMENT SLAB CONSTRUCTION AND CONTROL JOINT PLAN INCLUDED ON SHEET R1.4.

Park Place on Peachtree  
2660 Peachtree Rd NE  
Atlanta, Georgia 30305

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Condominium Association  
2660 Peachtree Rd NE  
Atlanta, Georgia 30305

4A	07/15/2024 ADDENDUM NO. 4R
	06/28/2024 RF1 33
	06/19/2024 ADDENDUM NO. 4
	05/01/2024 ADDENDUM NO. 3
	03/01/2024 ADDENDUM NO. 2
	02/12/2024 PERMIT REVISION
	01/08/2024 ADDENDUM NO. 1
	11/10/2023 ISSUED FOR CONSTRUCTION
Mark	Date



Project No. 2020.7251.1

Date 05/01/2024

Drawn RC/EG/RRK

Checked CG

Scale As Noted

Project Information

Sheet Title

Sheet No.

R0.0



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Consultants

Project

**Park Place on Peachtree**  
2660 Peachtree Rd NE  
Atlanta, Georgia 30305

Client

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4A	07/15/2024	ADDENDUM NO. 4R
	06/28/2024	RF1 33
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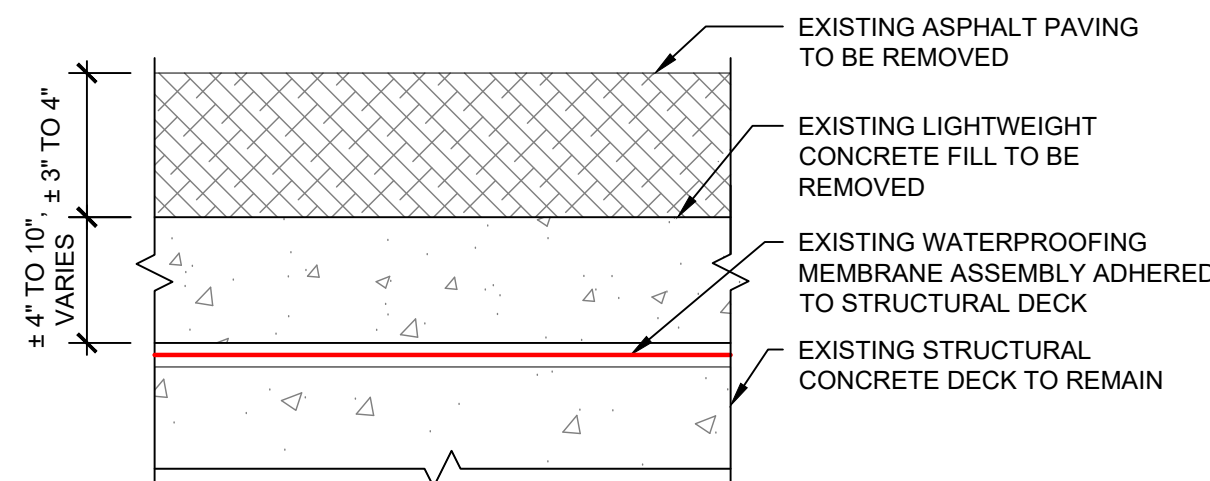
**Plaza Level - Demolition  
Plan**

Sheet Title

Sheet No.

#### DEMOLITION SCOPE OF WORK

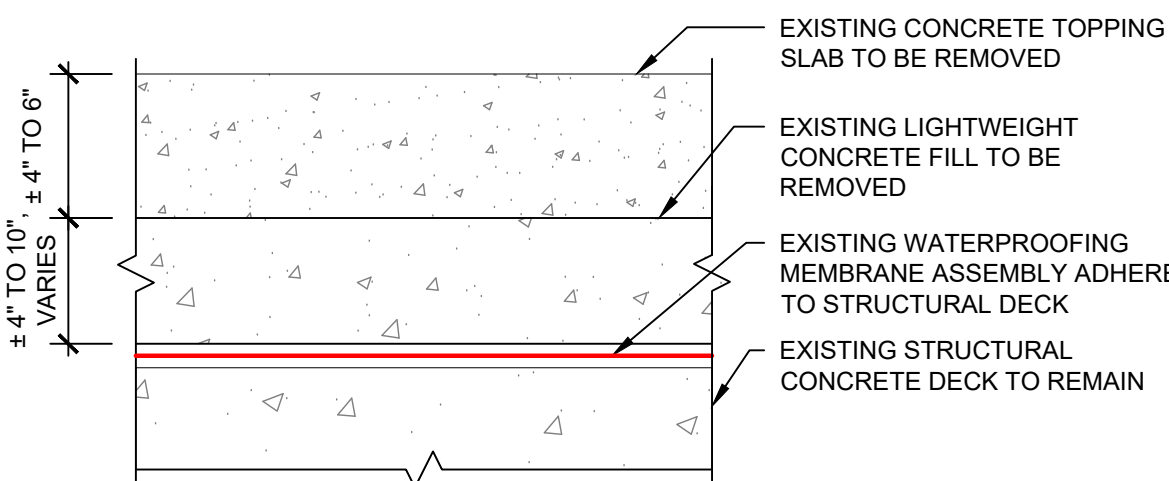
- REMOVE EXISTING OVERBURDEN AND WATERPROOFING MEMBRANE AT PLAZA DECK TO EXPOSE UNDERLYING STRUCTURAL CONCRETE DECK. THIS INCLUDES REMOVAL OF PAVING CONCRETE, PEDESTAL PAVERS, ASPHALT PAVING, LIGHTWEIGHT CONCRETE SLOPED TOPPING, AND PLANTER FILL.
  - EXISTING OVERBURDEN ASSEMBLIES VARY FROM APPROXIMATELY 8 TO 14 INCHES BASED ON THE ORIGINAL DRAWINGS AND MEASUREMENTS TAKEN IN THE FIELD. THIS CONSISTS OF THE OVERBURDENS SHOWN ON THE DEMOLITION PLAN WITH A LIGHTWEIGHT CONCRETE INFILL SLAB MEASURING BETWEEN 4 TO 10 INCHES BELOW THESE OVERBURDENS. SEE DETAILS 2 AND 3(R1) BELOW FOR A SCHEMATIC EXISTING OVERBURDEN DETAIL.
- CONTRACTOR TO VERIFY EXISTING ASSEMBLY THICKNESSES DURING DEMOLITION. NOTIFY A/E IF EXISTING ASSEMBLY THICKNESS VARIES FROM THAT SHOWN IN DRAWINGS.
- REMOVE EXISTING CONCRETE PLANTER WALLS AND CURBS AS NOTED DOWN TO STRUCTURAL DECK.
- REMOVE EXISTING TRENCH DRAINS AND CORRESPONDING PRECAST CONCRETE COLLECTION BOXES FROM PLANTERS AROUND THE EDGES OF THE PLAZA DECK.
- REMOVE EXISTING DECK DRAINS AS NOTED ON DEMOLITION PLAN. PATCH ALL ABANDONED DRAINS WITH NEW CONCRETE TO MATCH EXISTING STRUCTURAL CONCRETE PLAZA DECK ELEVATIONS AND FINISHES.
- REMOVE EXISTING BONDED SLOPED TOPPING IF SLOPE CONFLICTS WITH NEW CRICKET LOCATIONS AS SHOWN ON WATERPROOFING PLAN.



NOTE: CONTRACTOR TO VERIFY ALL EXISTING ASSEMBLY THICKNESSES IN FIELD

#### 2 EXISTING SCHEMATIC ASPHALT ASSEMBLY

SCALE: 3\"/>



NOTE: CONTRACTOR TO VERIFY ALL EXISTING ASSEMBLY THICKNESSES IN FIELD

#### 3 EXISTING SCHEMATIC CONCRETE TOPPING ASSEMBLY

SCALE: 3\"/>

#### DRAIN LEGEND

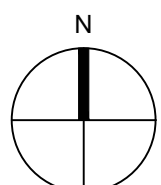
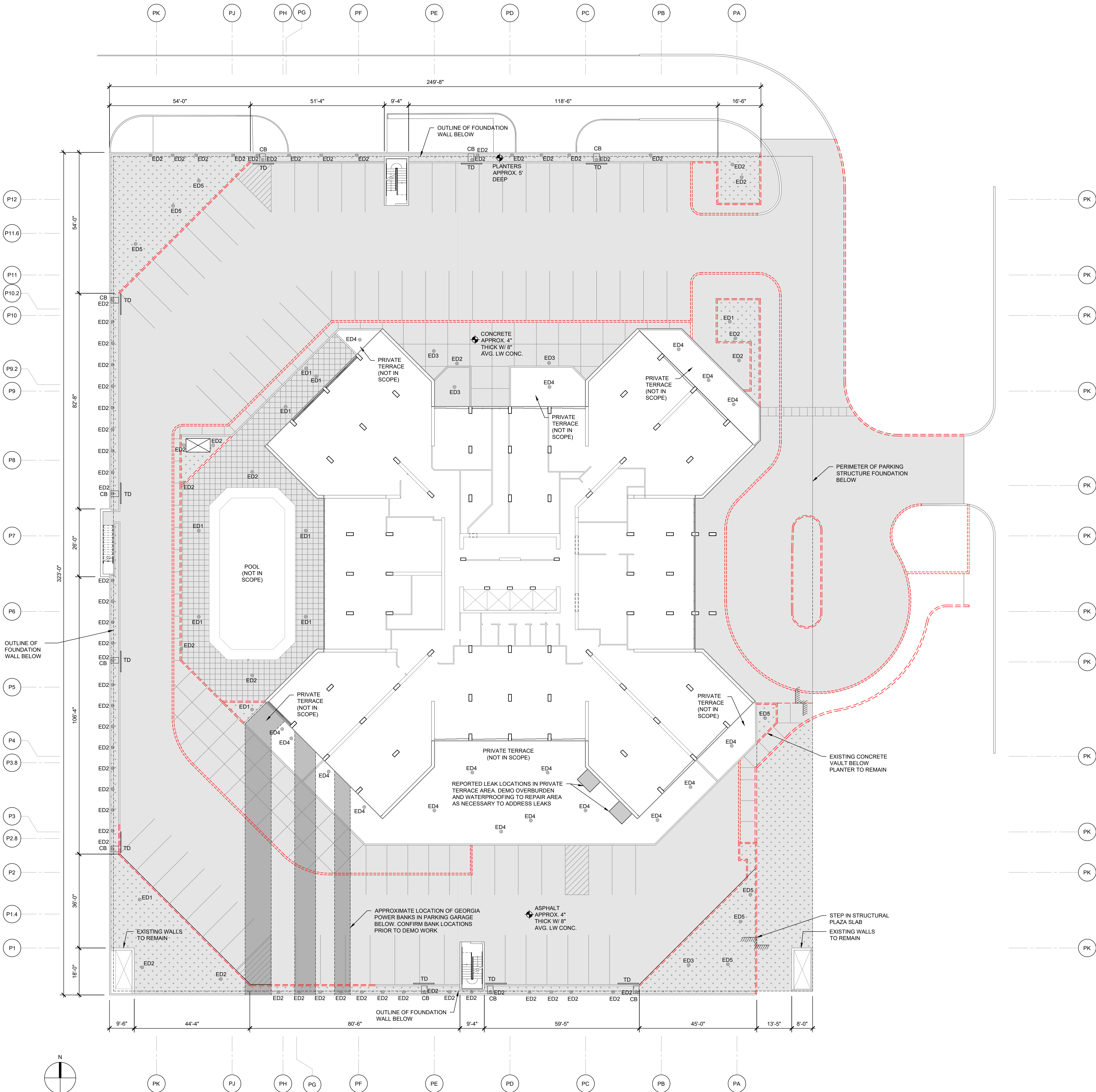
- CB REMOVE EXISTING 36\"/>
- TD REMOVE EXISTING TRENCH DRAIN AT BASE OF PLANTER WALL AND FILL DECK PENETRATION.
- ED1 EXISTING DRAIN BENEATH PEDESTAL PAVERS. REMOVE EXISTING DRAIN BODY. EXISTING DRAIN PENETRATION TO REMAIN.
- ED2 EXISTING DRAIN WITHIN PLANTER. REMOVE EXISTING DRAIN BODY. EXISTING DRAIN PENETRATION TO REMAIN.
- ED3 EXISTING DRAIN IN CONCRETE TOPPING SLAB. EXISTING DRAIN PENETRATION AT CONCRETE TOPPING SLAB TO REMAIN.
- ED4 EXISTING DRAIN ASSEMBLY IN PRIVATE TERRACE AREA TO REMAIN.
- ED5 REMOVE EXISTING DRAIN AND FILL DECK PENETRATION.

#### EXISTING OVERBURDEN LEGEND

- EXISTING PLAZA DECK OVERBURDEN TO BE REMOVED TO EXPOSE STRUCTURAL DECK (VARIES 8\"/>
- EXISTING CONCRETE SIDEWALKS TO BE REMOVED TO EXPOSE STRUCTURAL CONCRETE DECK.
- EXISTING PEDESTAL AND PAVERS TO BE REMOVED. REMOVE UNDERLYING ADHERED WATERPROOFING MEMBRANE TO EXPOSE STRUCTURAL CONCRETE DECK.
- EXISTING PLANTER BED TO BE REMOVED. REMOVE PLANTING MATERIAL AND UNDERLYING WATERPROOFING MEMBRANE TO EXPOSE STRUCTURAL CONCRETE DECK AND CAST-IN-PLACE PLANTER WALLS.
- EXISTING PLANTER WALLS TO BE REMOVED.
- EXISTING CONCRETE CURBS TO BE REMOVED.

#### 1 PLAZA LEVEL DEMOLITION PLAN

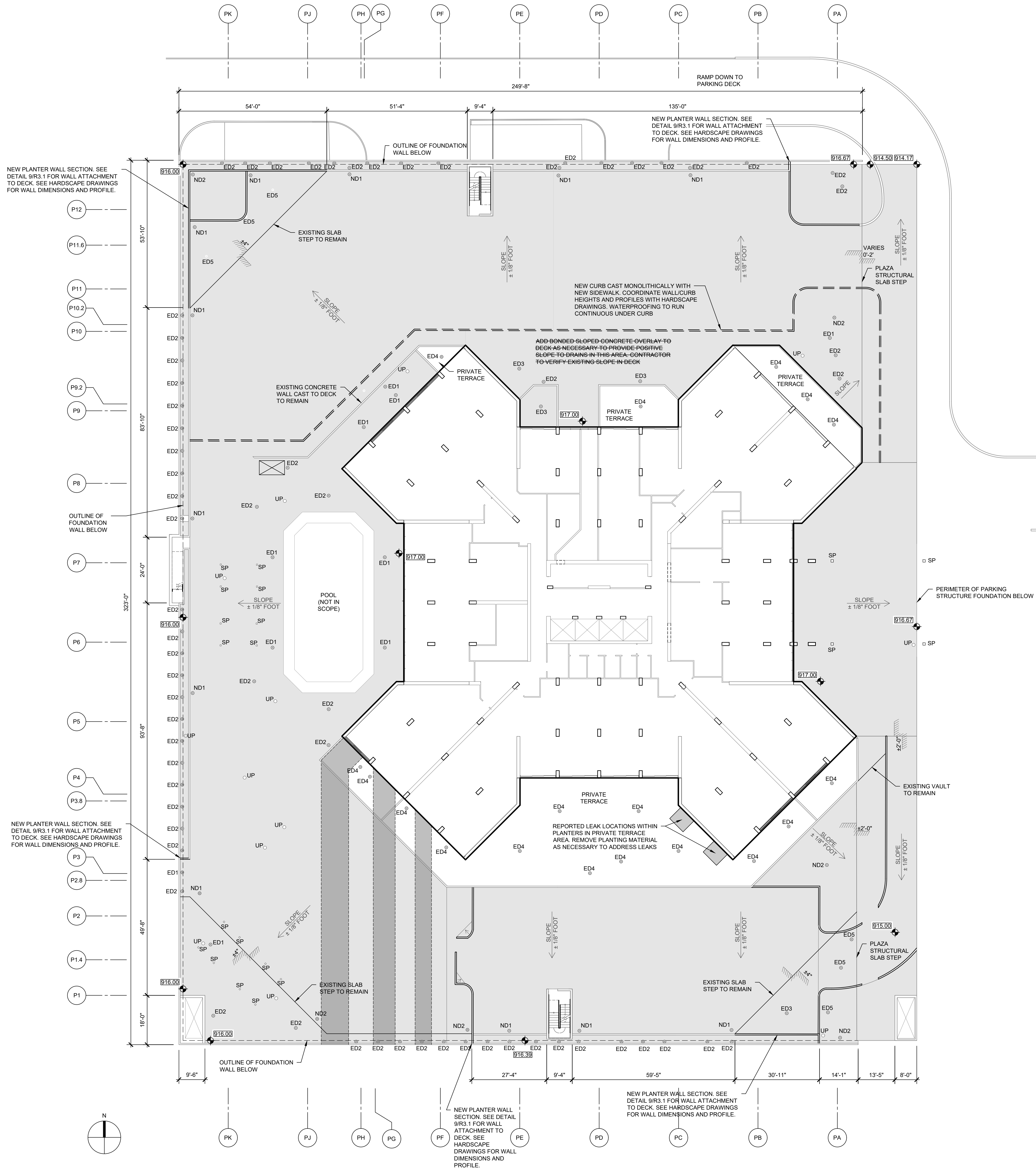
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## NOTES:

1. CONFIRM SLOPE IN STRUCTURAL DECK PRIOR TO WATERPROOFING INSTALLATION. NOTIFY A/E IF SLOPE DIFFERS FROM MIN. 1/8" FT TO PLAZA PERIMETER.
2. PER ORIGINAL DRAWINGS, 10" DIA. PERIMETER PLANTER DRAINS EXIST APPROXIMATELY EVERY 8' O.C. DRAIN LOCATIONS TO BE CONFIRMED DURING PLANTER DEMOLITION.
3. NEW HRA ASSEMBLY TO TERMINATE AT PERIMETER OF PRIVATE TERRACE AREAS NOT INCLUDED IN SCOPE AND AT PERIMETER OF POOL. NEW HRA INSTALLED AT KNOWN LEAK LOCATIONS WITHIN PRIVATE TERRACES TO TIE INTO ADJACENT EXISTING WATERPROOFING.
4. NEW WATERPROOFING TO INTEGRATE WITH EXISTING BELOW-GRADE WATERPROOFING ALONG EAST SIDE OF PARKING STRUCTURE.
5. CONFIRM PRESTRESSED STEEL REINFORCEMENT LOCATION PRIOR TO CORING ANY HOLES IN THE STRUCTURAL SLAB.
6. ALL PENETRATIONS THROUGH THE STRUCTURAL SLAB SHALL BE SPACED A MINIMUM OF 4 INCHES TO ENSURE CONTINUOUS WATERPROOFING FLASHING CAN BE INSTALLED.
7. CONFIRM EXISTING PLANTERS SLOPED TO DRAIN DURING DEMOLITION. PROVIDE SLOPE OF 3/4" FT MIN. WHERE NONE EXISTS PRIOR TO INSTALLING NEW WATERPROOFING MEMBRANE.



## LEGEND

- ED1 INSTALL NEW SINGLE STAGE AREA DRAIN AT PEDESTAL PAVEMENT AREA. DRAIN SET IN EXISTING PENETRATION THROUGH STRUCTURAL SLAB.
- ED2 INSTALL NEW SINGLE STAGE PLANTER DRAIN WITHIN PLANTER. DRAIN SET IN EXISTING PENETRATION THROUGH STRUCTURAL SLAB. NEW PLANTER VENT INSTALLED OVER DRAIN. SEE DETAIL 9/R3.2
- ED3 INSTALL NEW BI-LEVEL DECK DRAIN SET IN CONCRETE TOPPING SLAB. DRAIN SET IN EXISTING PENETRATION THROUGH STRUCTURAL SLAB. SEE DETAIL 16/R3.2
- ED4 EXISTING DRAIN IN PRIVATE TERRACE AREA TO REMAIN. CONFIRM DRAIN IS FUNCTIONING AS INTENDED AND NO LEAKS ARE PRESENT AT DRAIN
- ED5 FILL EXISTING DRAIN PENETRATION IN STRUCTURAL SLAB
- ND1 INSTALL NEW BI-LEVEL AREA DRAIN IN ASPHALT PAVING AREA AT NEW PENETRATION THROUGH STRUCTURAL SLAB. SEE DETAIL 2/R3.0
- ND2 INSTALL NEW SINGLE STAGE PLANTER DRAIN IN PLANTER AT NEW PENETRATION THROUGH STRUCTURAL SLAB. NEW PLANTER VENT INSTALLED OVER DRAIN. SEE DETAIL 9/R3.2
- ND3 INSTALL NEW BI-LEVEL DECK DRAIN IN CONCRETE TOPPING SLAB AT NEW PENETRATION THROUGH STRUCTURAL SLAB. SEE DETAIL 16/R3.2
- SP NEW STRUCTURAL POST ANCHORED TO STRUCTURAL DECK. SEE DETAIL 4/R3.9
- UP NEW UTILITY CONDUIT/PIPE PENETRATION THROUGH STRUCTURAL DECK. WATERPROOF IN ACCORDANCE WITH DETAIL 17/R3.2
- EXTENT OF NEW HOT-RUBBERIZED ASPHALT WATERPROOFING INSTALLATION
- INSTALL NEW SLOPED BONDED OVERLAY OVER CONCRETE DECK AS NECESSARY TO PROVIDE POSITIVE SLOPE TO DRAINS
- SLOPE DIRECTION PROVIDED IN STRUCTURAL DECK BASED ON ORIGINAL DRAWINGS
- EXISTING VENTILATION SHAFT TO REMAIN
- EXISTING SLAB STEP. INFILL SPACE AT SOUTHEAST CORNER OF STRUCTURE WITH STRUCTURAL FORM AND CAST NEW STRUCTURAL SLAB TO MATCH DRIVE AISLE ELEVATION
- EXISTING TOP OF SLAB ELEVATION IN FEET

## 1 WATERPROOFING PLAN

SCALE: 1/8" = 1'-0"

## Project

Park Place on Peachtree  
2660 Peachtree Rd NE  
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## Client

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Condominium Association  
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## Waterproofing Plan

Sheet Title

Sheet No.

R1.1



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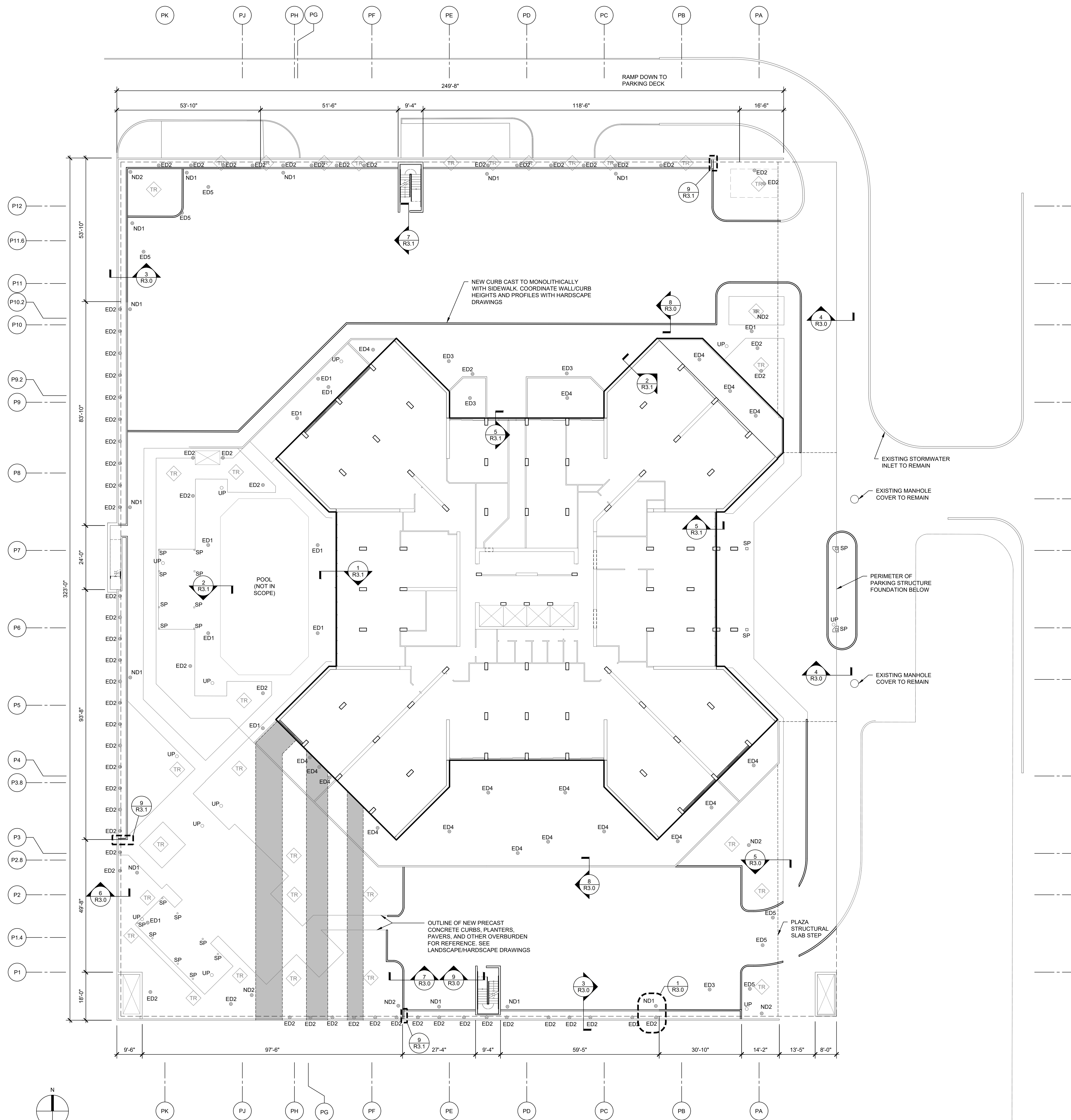
Scale As Noted

## Drain and Overburden Plan

Sheet Title

Sheet No.

R1.2



**DRAINS AND REFERENCE PLAN**  
SCALE: 1/8" = 1'-0"

### LEGEND

- ED1 INSTALL NEW SINGLE STAGE AREA DRAIN AT PEDESTAL PAVEMENT AREA. DRAIN SET IN EXISTING PENETRATION THROUGH STRUCTURAL SLAB.
- ED2 INSTALL NEW SINGLE STAGE PLANTER DRAIN WITHIN PLANTER. DRAIN SET IN EXISTING PENETRATION THROUGH STRUCTURAL SLAB. NEW PLANTER VENT INSTALLED OVER DRAIN. SEE DETAIL 9/R3.2
- ED3 INSTALL NEW BI-LEVEL DECK DRAIN SET IN CONCRETE TOPPING SLAB. DRAIN SET IN EXISTING PENETRATION THROUGH STRUCTURAL SLAB. SEE DETAIL 16/R3.2
- ED4 EXISTING DRAIN IN PRIVATE TERRACE AREA TO REMAIN. CONFIRM DRAIN IS FUNCTIONING AS INTENDED AND NO LEAKS ARE PRESENT AT DRAIN
- ED5 FILL EXISTING DRAIN PENETRATION IN STRUCTURAL SLAB
- ND1 INSTALL NEW BI-LEVEL AREA DRAIN IN ASPHALT PAVING AREA AT NEW PENETRATION THROUGH STRUCTURAL SLAB. SEE DETAIL 2/R3.0
- ND2 INSTALL NEW SINGLE STAGE PLANTER DRAIN IN PLANTER AT NEW PENETRATION THROUGH STRUCTURAL SLAB. NEW PLANTER VENT INSTALLED OVER DRAIN. SEE DETAIL 9/R3.2
- ND3 INSTALL NEW BI-LEVEL DECK DRAIN IN CONCRETE TOPPING SLAB AT NEW PENETRATION THROUGH STRUCTURAL SLAB. SEE DETAIL 16/R3.2
- SP NEW STRUCTURAL POST ANCHORED TO STRUCTURAL DECK. SEE DETAIL 4/R3.9
- UP NEW UTILITY CONDUIT/PIPE PENETRATION THROUGH STRUCTURAL DECK. WATERPROOF IN ACCORDANCE WITH DETAIL 17/R3.2
- EXTENT OF NEW HOT-RUBBERIZED ASPHALT WATERPROOFING INSTALLATION
- INSTALL NEW SLOPED BONDED OVERLAY - OVER CONCRETE DECK AS NECESSARY TO - PROVIDE SLOPE TO DRAINS. MINIMUM 1/4" PER FT SLOPE
- SLOPE SLOPE DIRECTION PROVIDED IN STRUCTURAL DECK BASED ON ORIGINAL DRAWINGS
- EXISTING VENTILATION SHAFT TO REMAIN
- EXISTING SLAB STEP. INFILL SPACE AT SOUTHEAST CORNER OF STRUCTURE WITH STRUCTURAL FOAM AND CAST NEW STRUCTURAL SLAB TO MATCH DRIVE AISLE ELEVATION
- EXISTING TOP OF SLAB ELEVATION IN FEET
- APPROXIMATE LOCATION OF NEW 4' X 4' TREE ROOT BALL PER LA DRAWINGS. NEW GEOFOAM WILL SLOPE AWAY FROM ROOT BALLS TO PLANTER PERIMETER CURBS



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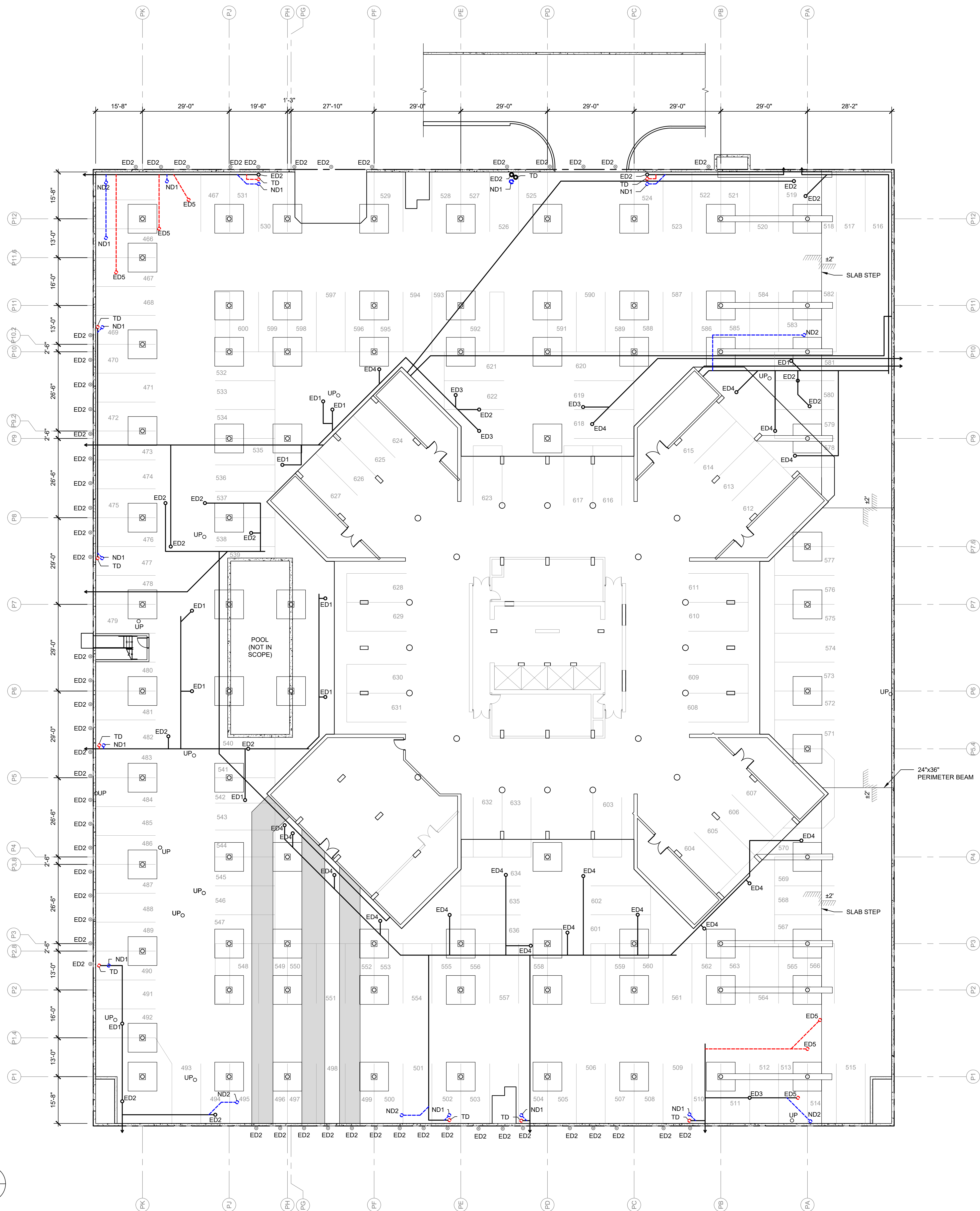
Scale As Noted

Upper Parking Level -  
RCP

Sheet Title

Sheet No.

R1.3



1 UPPER PARKING REFLECTED CEILING PLAN

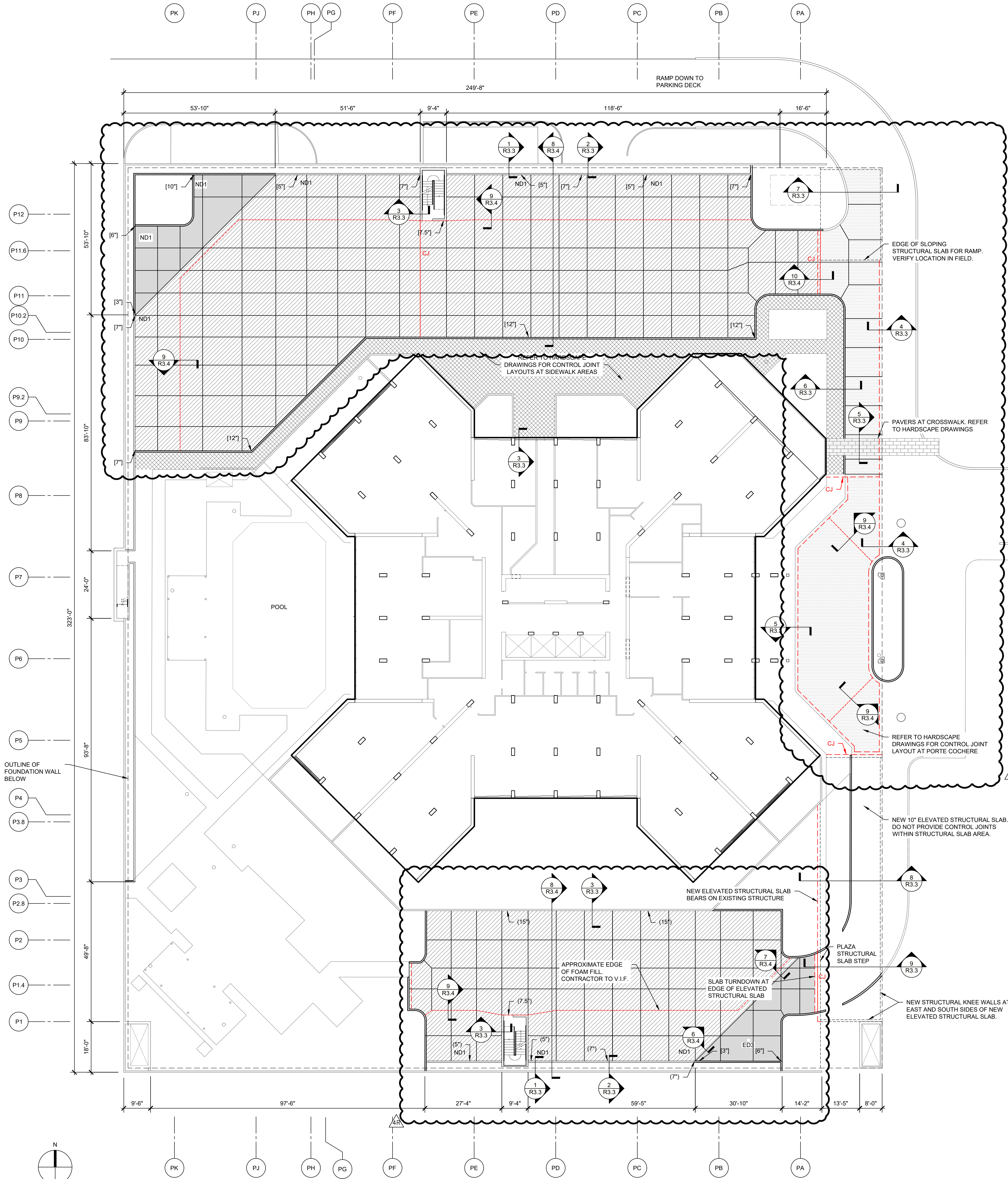
SCALE: 1/16" = 1'-0"



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1 CONCRETE TOPPING SLAB JOINT PLAN

SCALE: 1/8" = 1'-0"



CONCRETE PAVEMENT PLAN NOTES

1. CONCRETE MIX DESIGN AND PLACEMENT SHALL COMPLY WITH SECTION 03 30 00 AND CONCRETE REINFORCEMENT SHALL COMPLY WITH SECTION 03 20 00.
2. SUBBASE SHALL BE PLACED TO PERMIT CONCRETE PLACEMENT IN UNIFORM THICKNESS AS SPECIFIED ON PLAN.
3. UNIFORM SLAB REINFORCEMENT SHALL BE PLACED AT THE UPPER 1/3 POINT OF THE SLAB DEPTH WITH A MINIMUM OF 1 INCH CLEAR COVER TO THE TOP OF SLAB. QUANTITY AND SPACING OF REINFORCEMENT IS SPECIFIED IN THE CONCRETE PAVEMENT REINFORCEMENT SCHEDULE.
4. PROVIDE SUPPLEMENTAL REINFORCEMENT AT ALL SLAB PENETRATIONS PER DETAIL 8/R3.3.
5. PROVIDE SUPPLEMENTAL REINFORCEMENT AT ALL DISCONTINUOUS JOINTS PER DETAIL 8/R3.4 EXCEPT WHERE CONTROL JOINT TERMINATES AT A CORNER.
6. DIMENSIONS LISTED IN PARENTHESES IN SOUTH PARKING ARE KNOWN THICKNESSES OF PREVIOUS OVERBURDEN OVER THE STRUCTURAL DECK. NEW OVERBURDEN TO MATCH EXISTING THICKNESSES. CONTRACTOR TO VERIFY ALL DIMENSIONS IN THE FIELD.
7. DIMENSIONS LISTED IN BRACKETS ARE MAXIMUM PERMITTED THICKNESSES OF NEW OVERBURDEN. CONTRACTOR TO VERIFY ALL DIMENSIONS IN THE FIELD.
8. COMPACT SUBBASE TO 98 PERCENT OF STANDARD PROCTOR DENSITY. PERFORM MOCK-UP TO DEMONSTRATE REQUIRED COMPACTION IS ACHIEVED.

- HATCH INDICATES 7-INCH CONCRETE PAVEMENT SLAB
- HATCH INDICATES 6-INCH CONCRETE PAVEMENT SLAB
- HATCH INDICATES 5-INCH CONCRETE PAVEMENT SLAB
- CONCRETE TOPPING SLAB OF VARYING THICKNESS OVER PREVIOUS PLANTER
- LINE INDICATES A MANDATORY CONSTRUCTION JOINT
- LINE INDICATES A CONTROL JOINT. CONTROL JOINTS SHALL NOT EXCEED THE SPACING INDICATED IN THE CONCRETE PAVEMENT REINFORCEMENT SCHEDULE. COORDINATE JOINT LOCATIONS WITH COLUMN GRID AS SHOWN.
- LINE INDICATED EDGE OF SLAB TURNDOWN
- LINE INDICATES TRANSITION FROM CONCRETE ON XPS FOAM TO CONCRETE ON STRUCTURAL DECK (PER DETAIL 9/R3.4)

CONCRETE PAVEMENT REINFORCEMENT SCHEDULE U.N.O.

SLAB THICKNESS	WELDED WIRE REINFORCEMENT	REBAR REINFORCEMENT	CONTROL JOINT MAX. SPACING
7-IN	NONE	#3@ 8-IN O.C. E.W.	14'-0" O.C.
6-IN	4X4 - W5.5XW5.5	#3@ 9-IN O.C. E.W.	12'-0" O.C.
5-IN	4X4 - W4XW4	NONE	10'-0" O.C.

NOTE: EITHER WELDED WIRE REINFORCEMENT OR REBAR REINFORCEMENT MAY BE SELECTED AT THE CONTRACTOR'S DISCRETION. ONLY ONE TYPE OF REINFORCEMENT IS REQUIRED IN EACH SLAB.



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Concrete Construction &  
Control Joint Plan

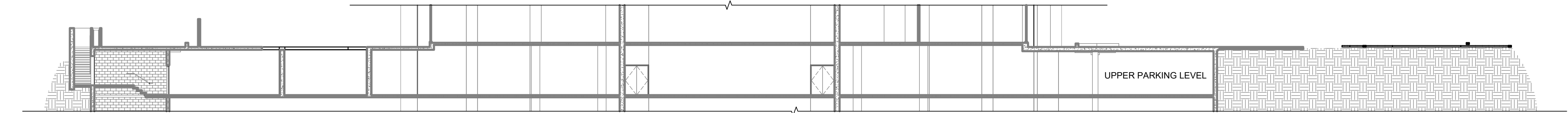
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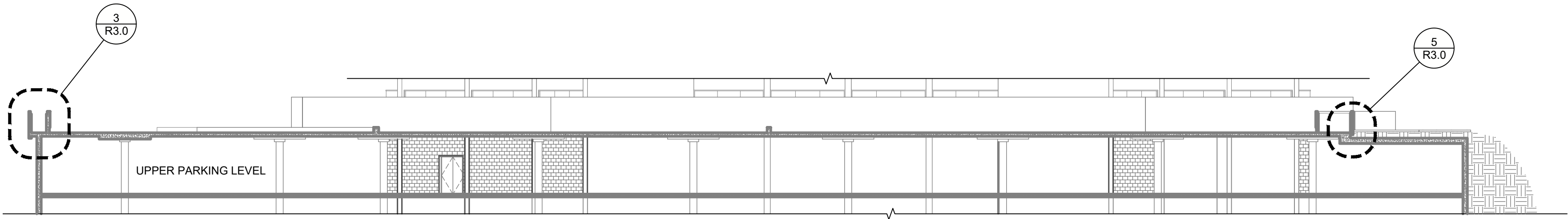
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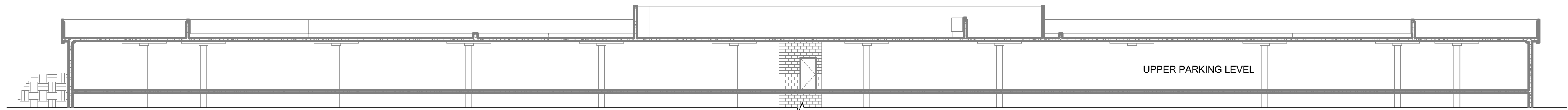
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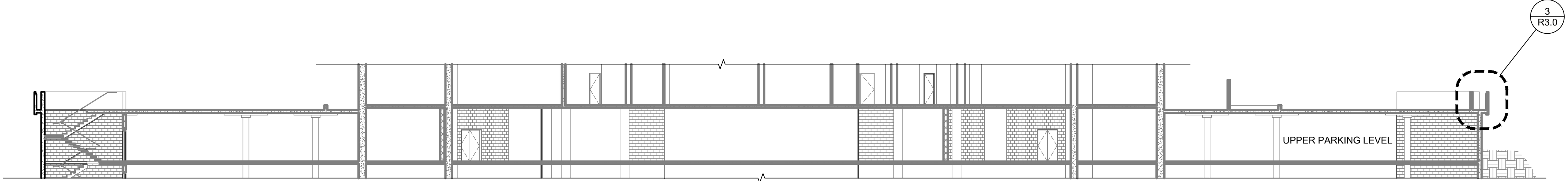
1 East-West Section Through Building  
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2 East-West Section Through Plaza  
SCALE: 1/16" = 1'-0"



3 North-South Section Through Plaza  
SCALE: 1/16" = 1'-0"



4 North-South Section Through Building  
SCALE: 1/16" = 1'-0"



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Plaza Sections

Sheet Title

Sheet No.

**R2.0**



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THIS SHEET PLOT AREA SIZE: 17" x 22" (NOT TO SCALE)

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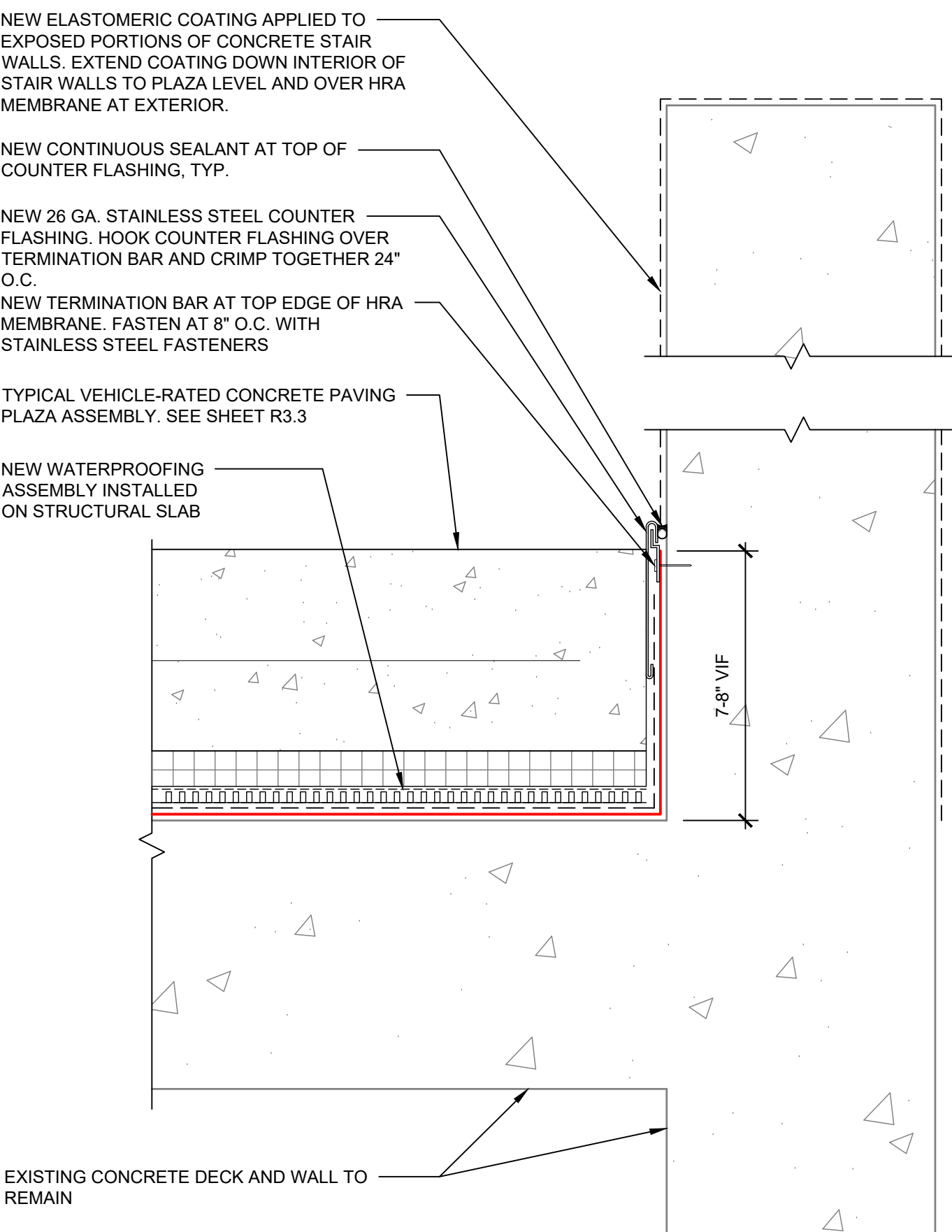
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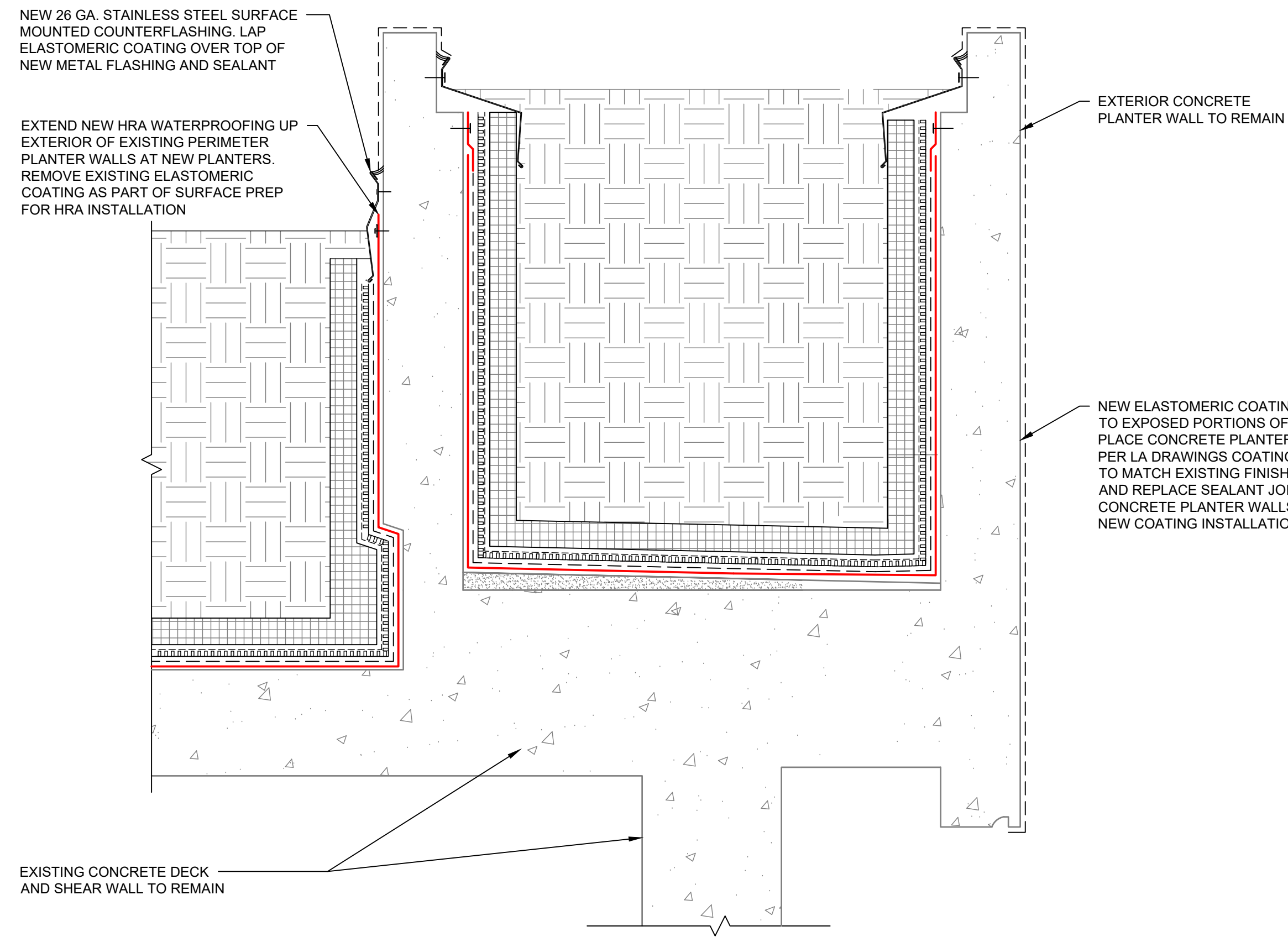
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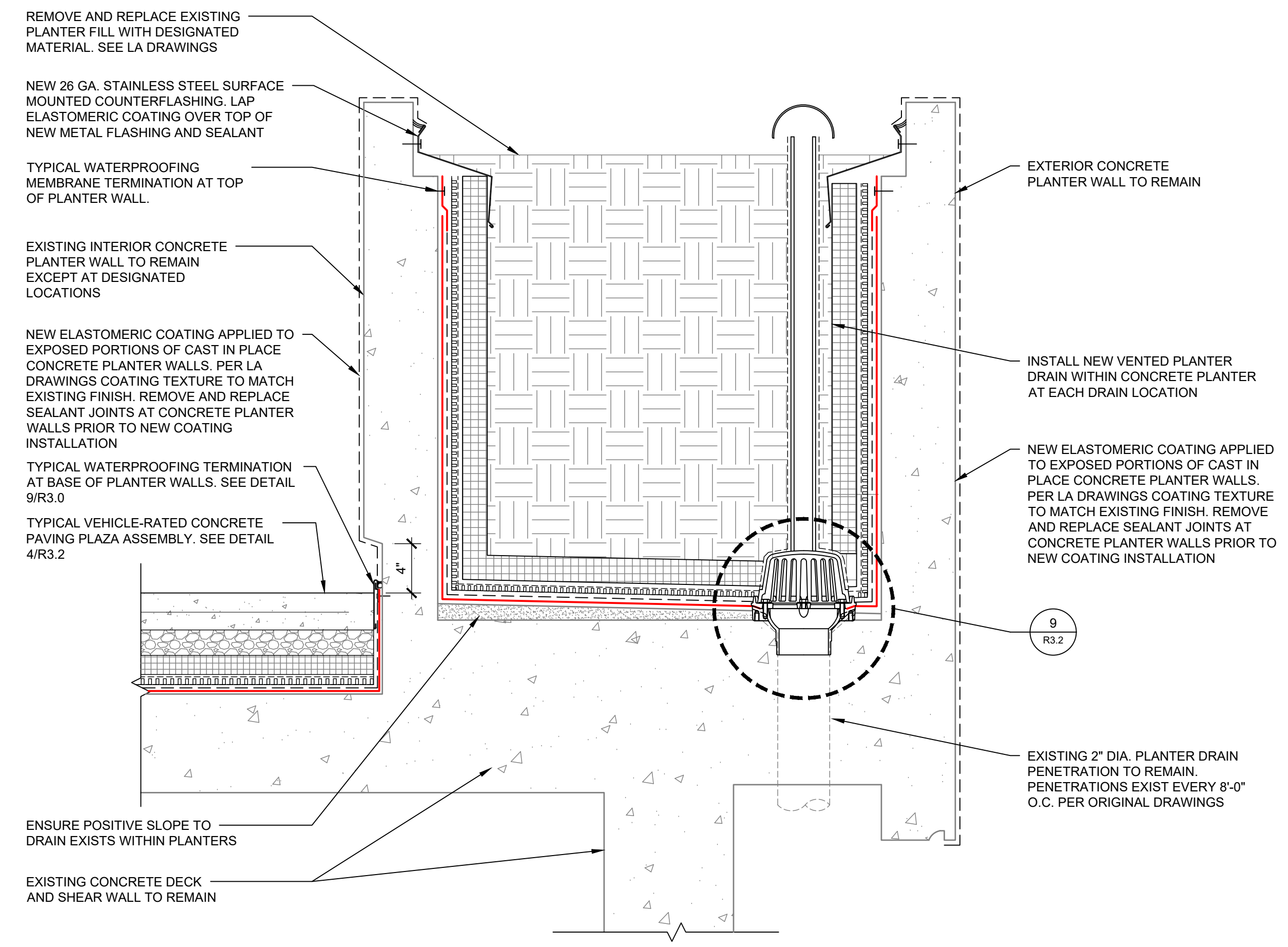
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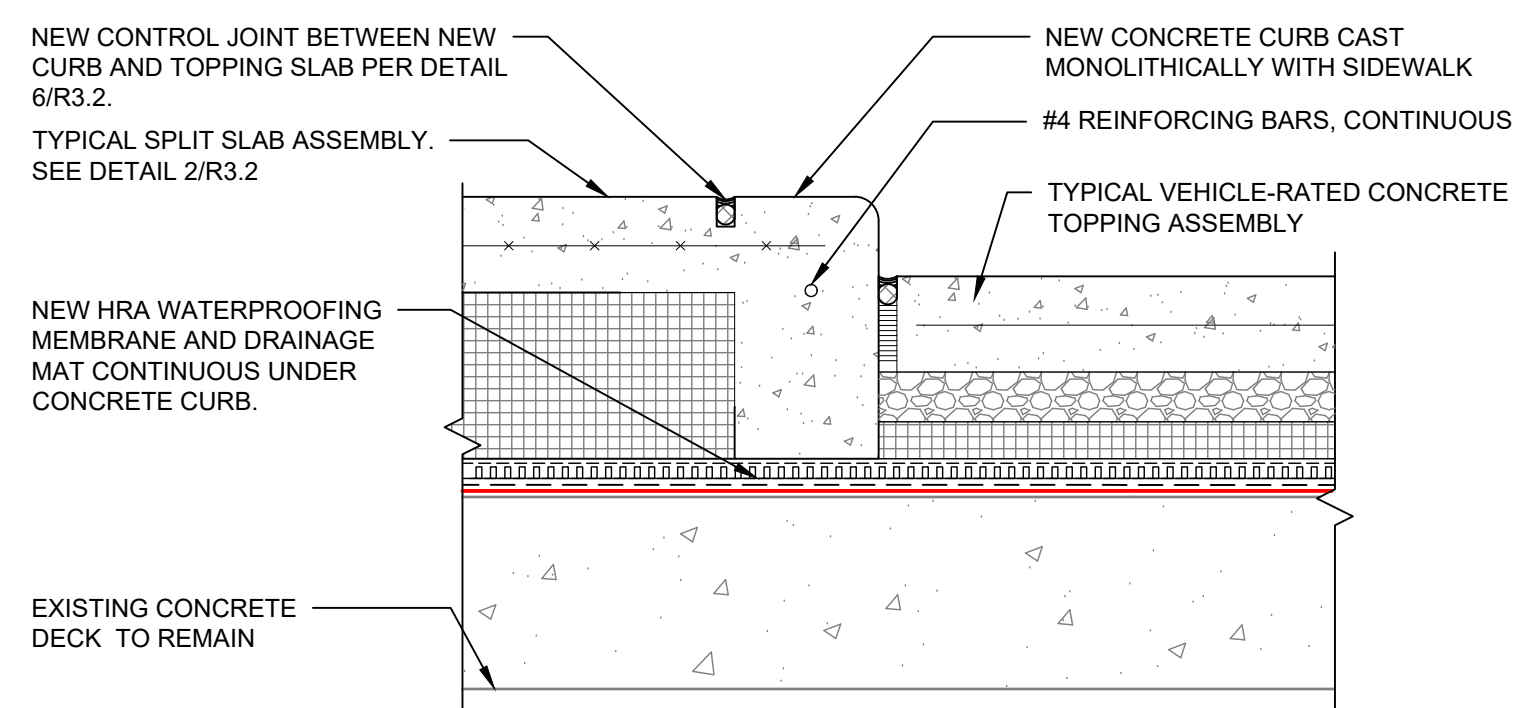
6 TYPICAL BASE OF STAIR WALL



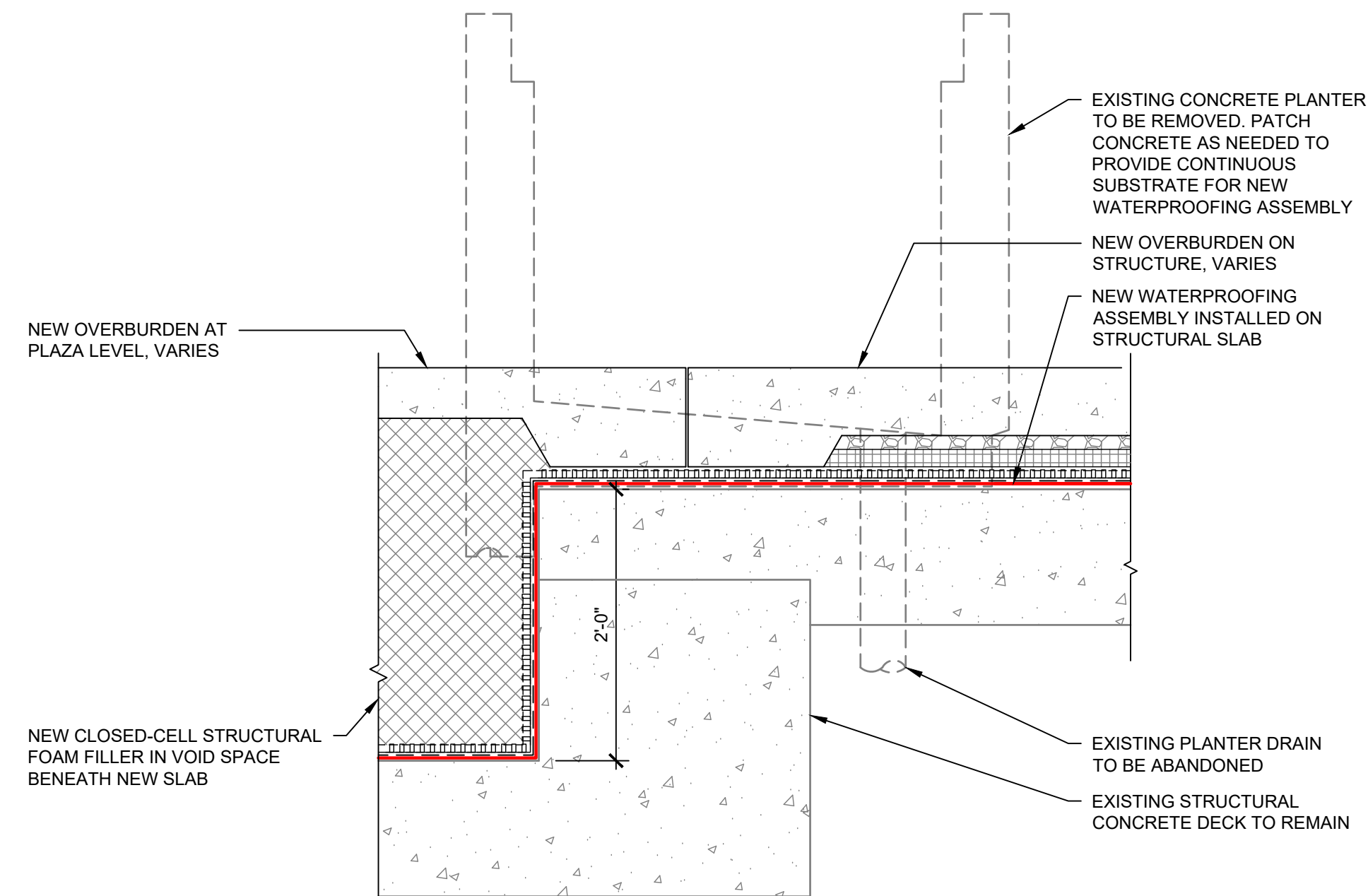
6 NEW PLANTER AT PERIMETER PLANTER



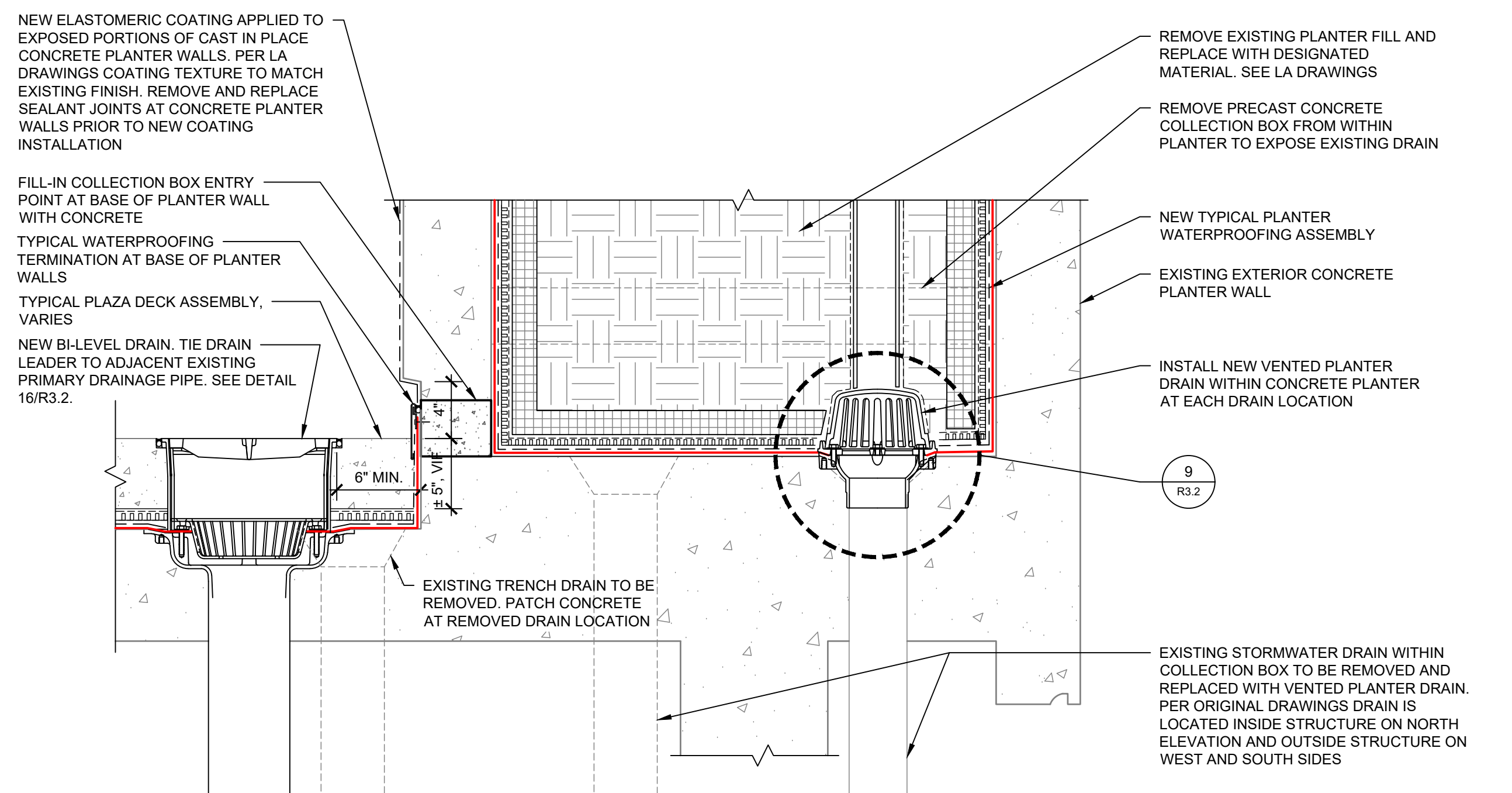
3 PLAZA PERIMETER PLANTER SECTION



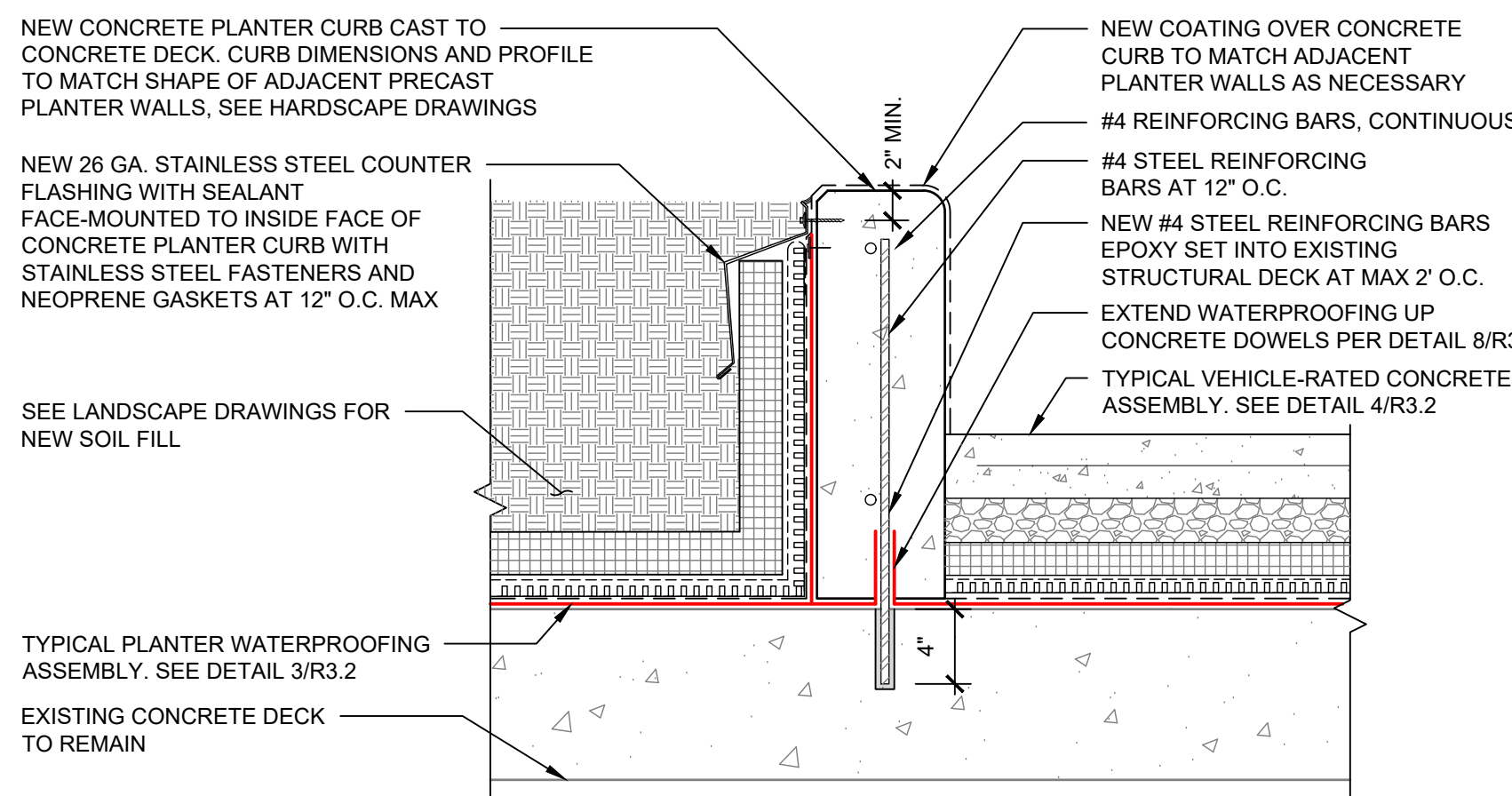
8 PARKING LOT TO SPLIT SLAB CAST CURB



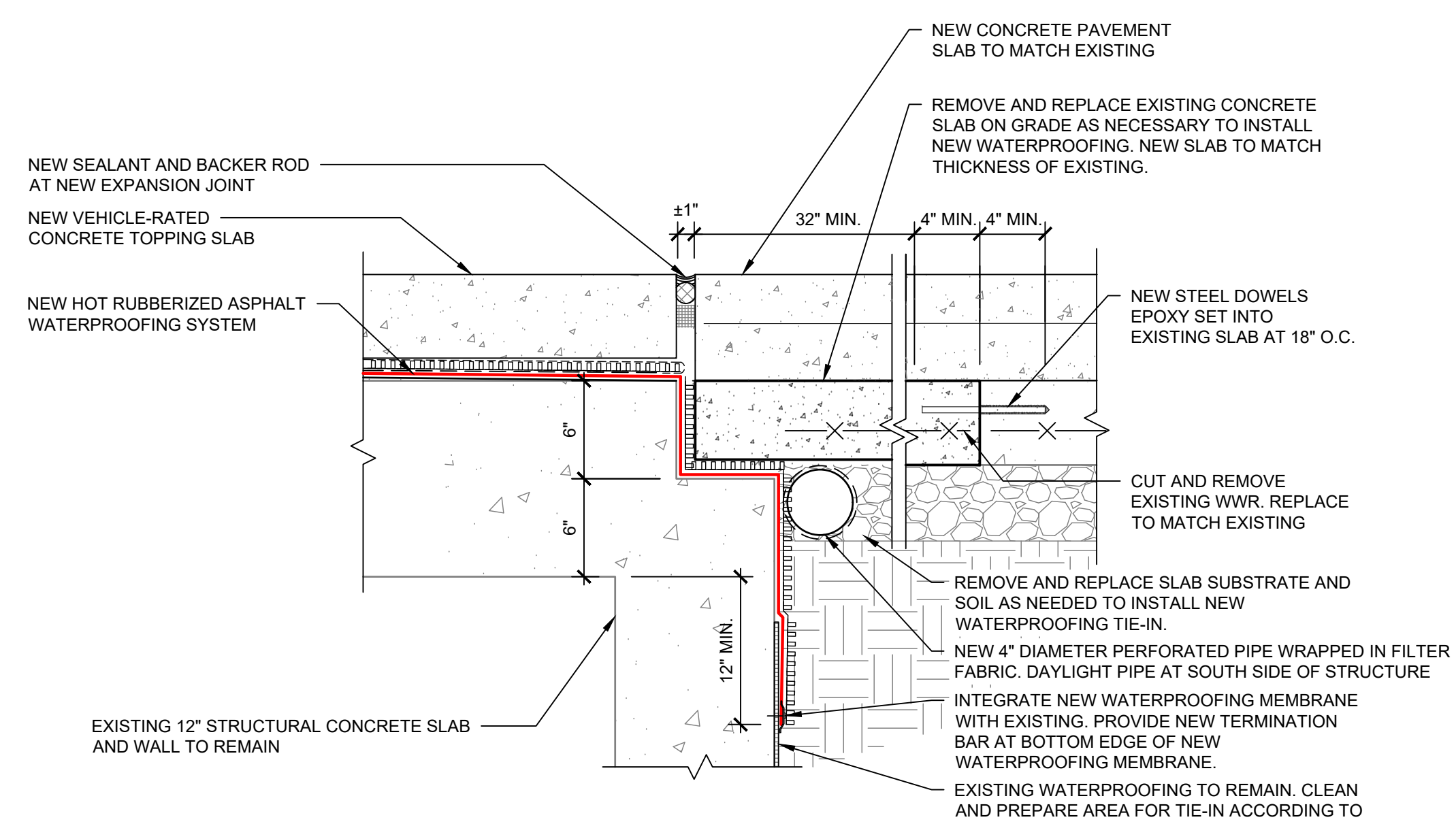
5 PLAZA EDGE SECTION AT SOUTHEAST CORNER



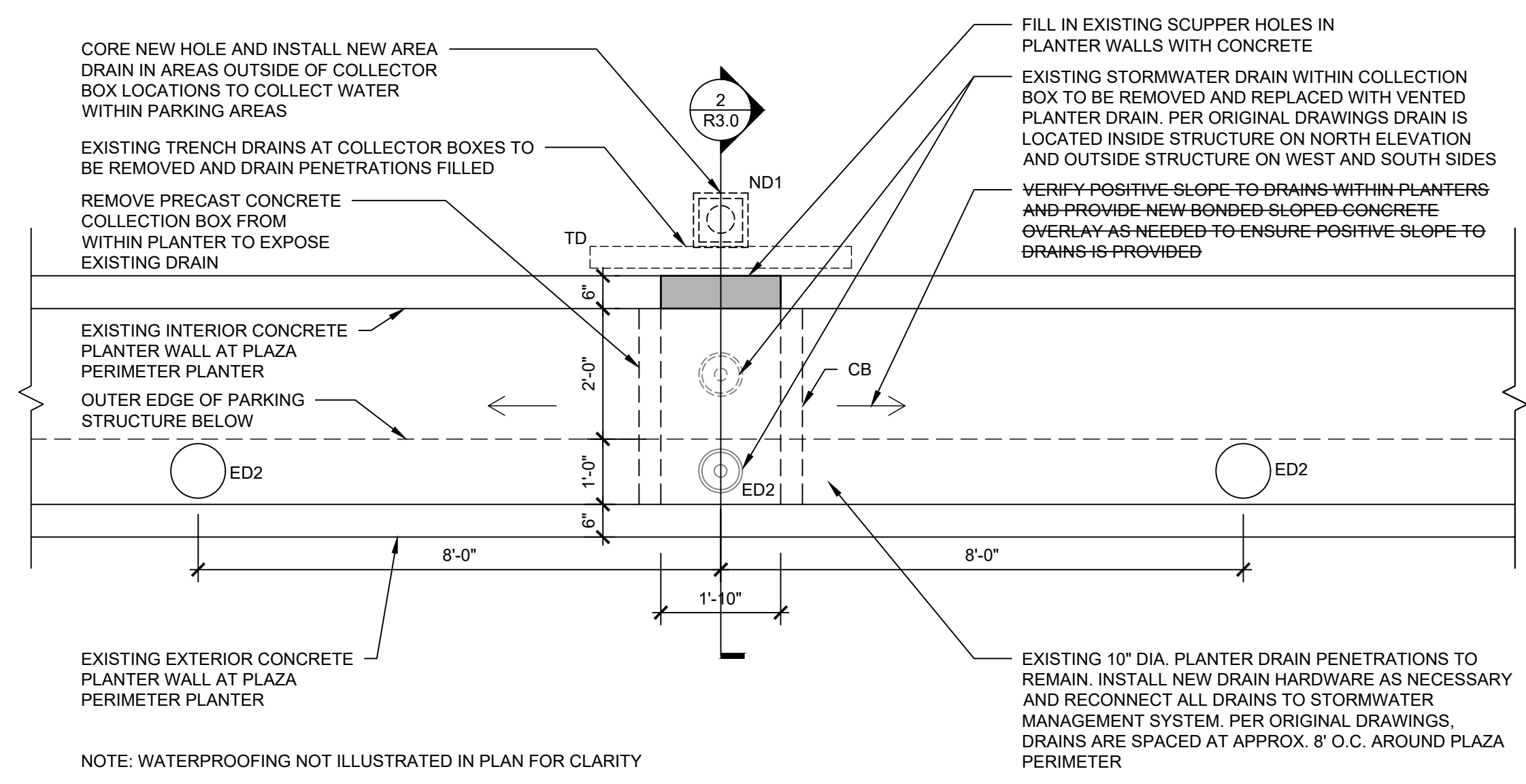
2 COLLECTOR BOX DETAIL



7 PARKING LOT TO PLANTER CURB



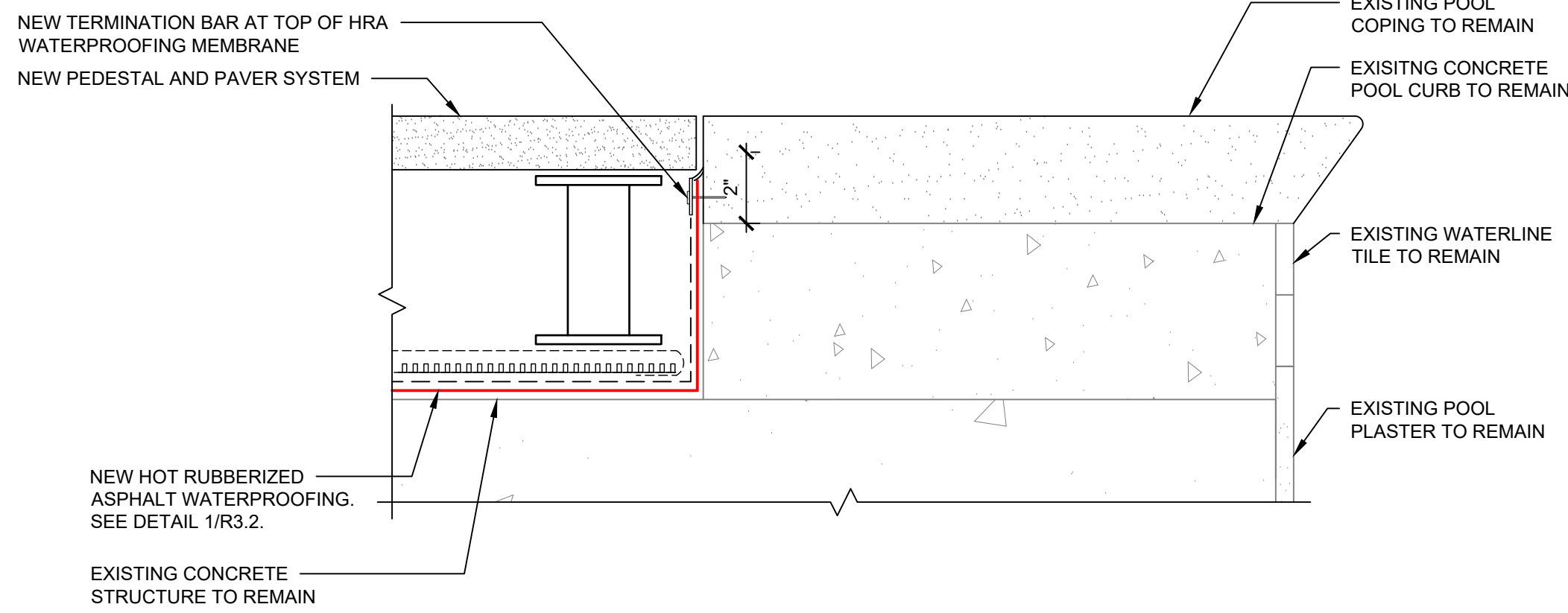
4 EXPANSION JOINT AT CONCRETE PAVING



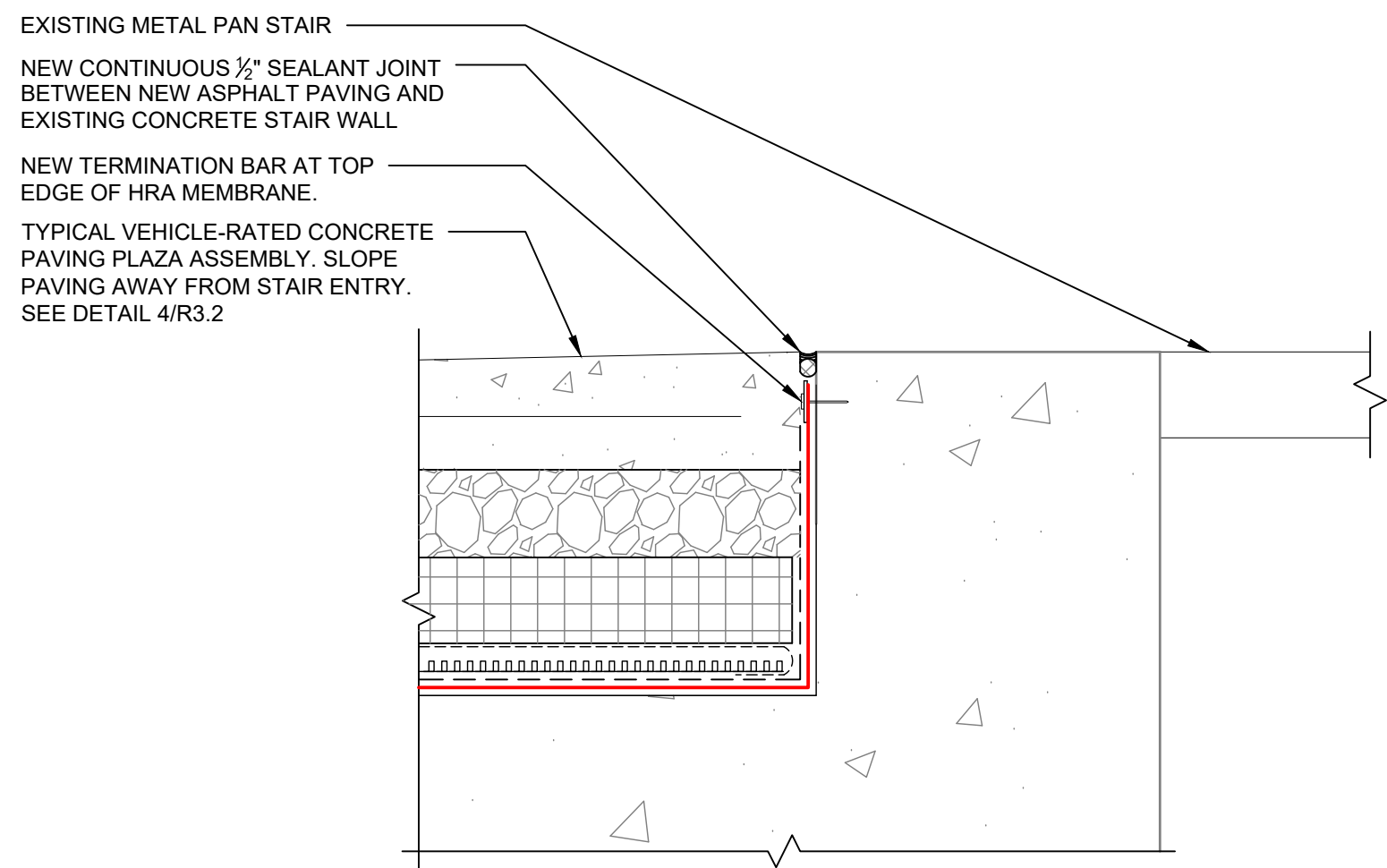
1 COLLECTOR BOX PLAN



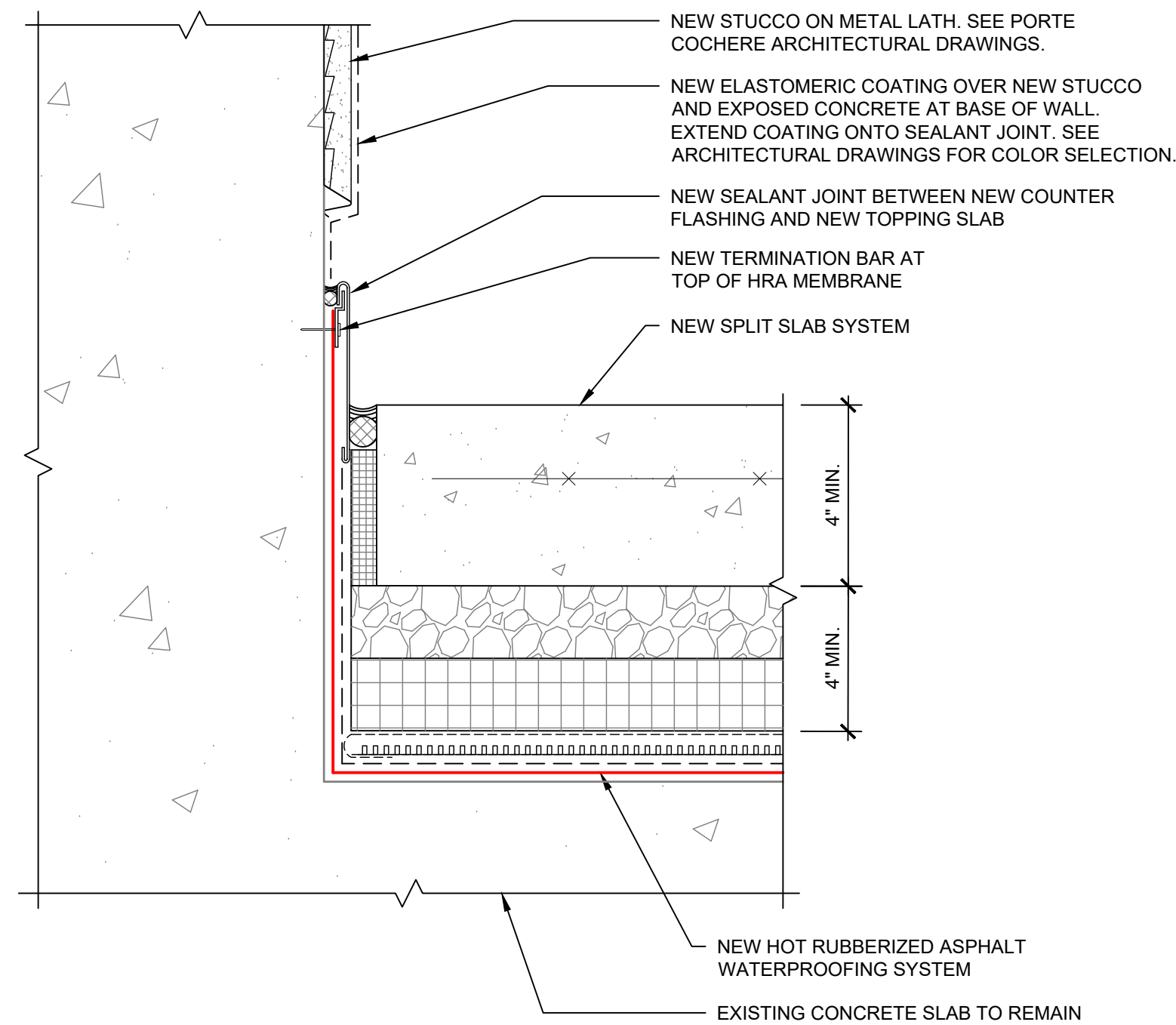
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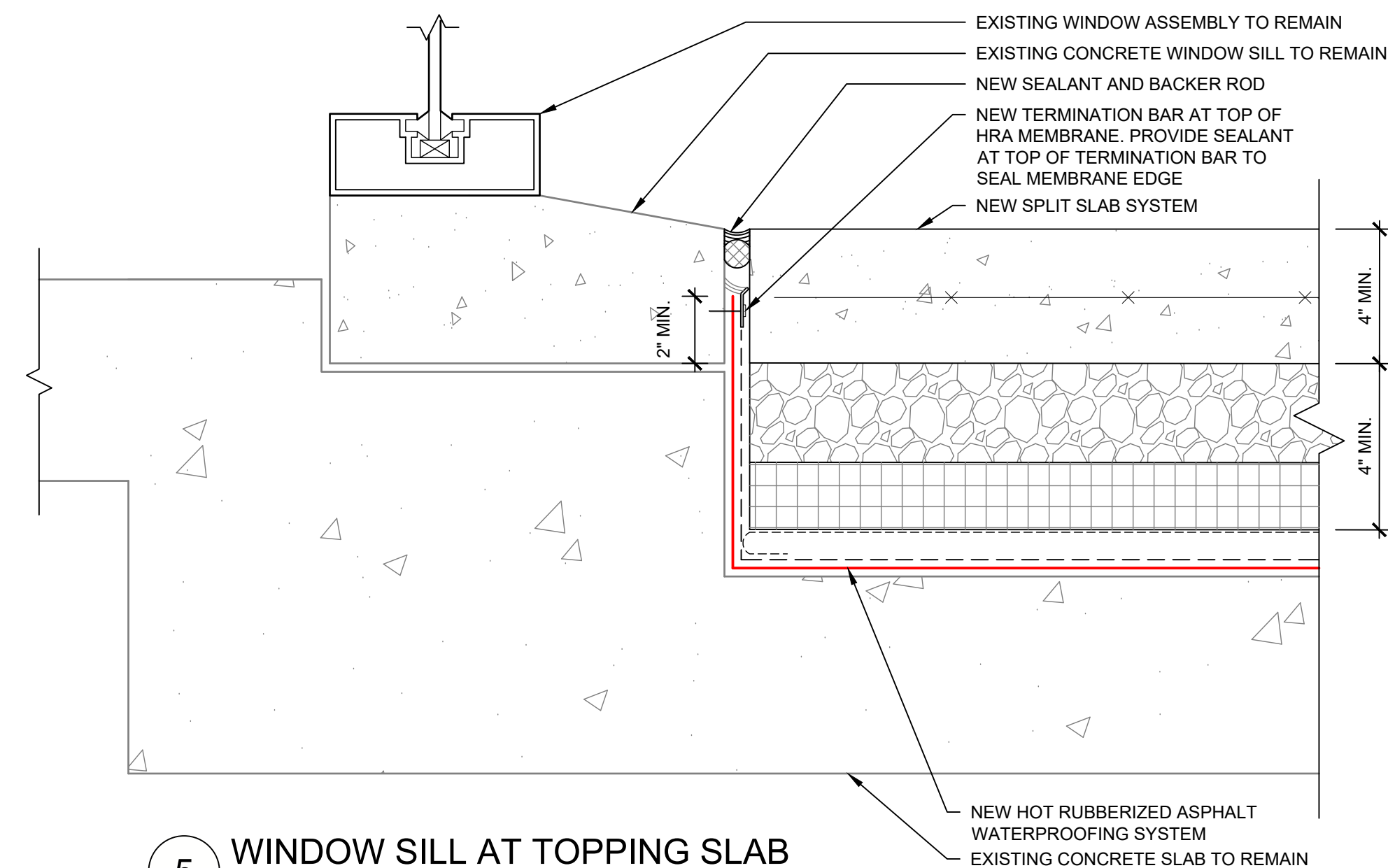
8 POOL EDGE DETAIL  
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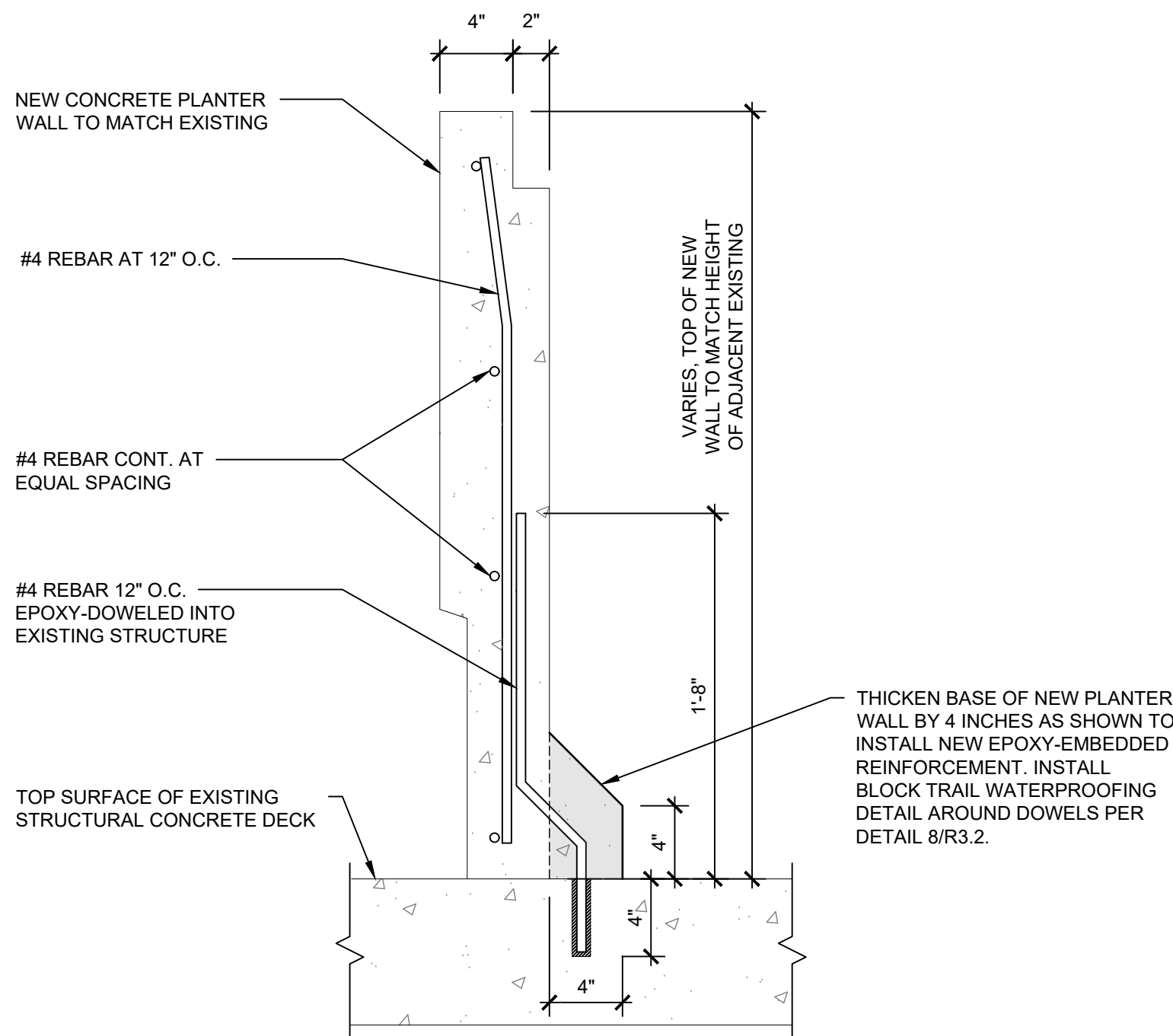
7 TYPICAL STAIR ENTRY DETAIL  
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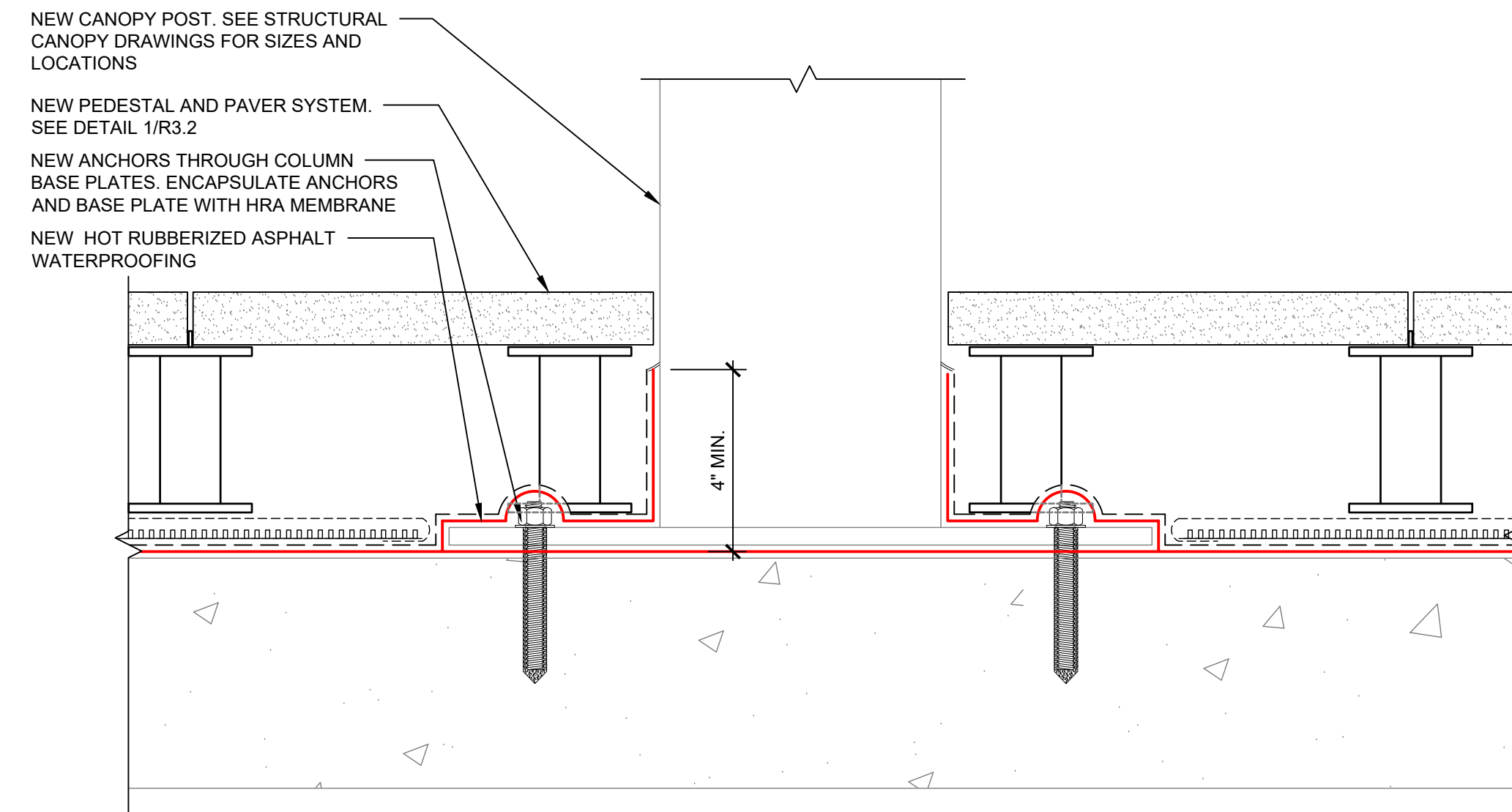
6 STUCCO BASE OF WALL DETAIL  
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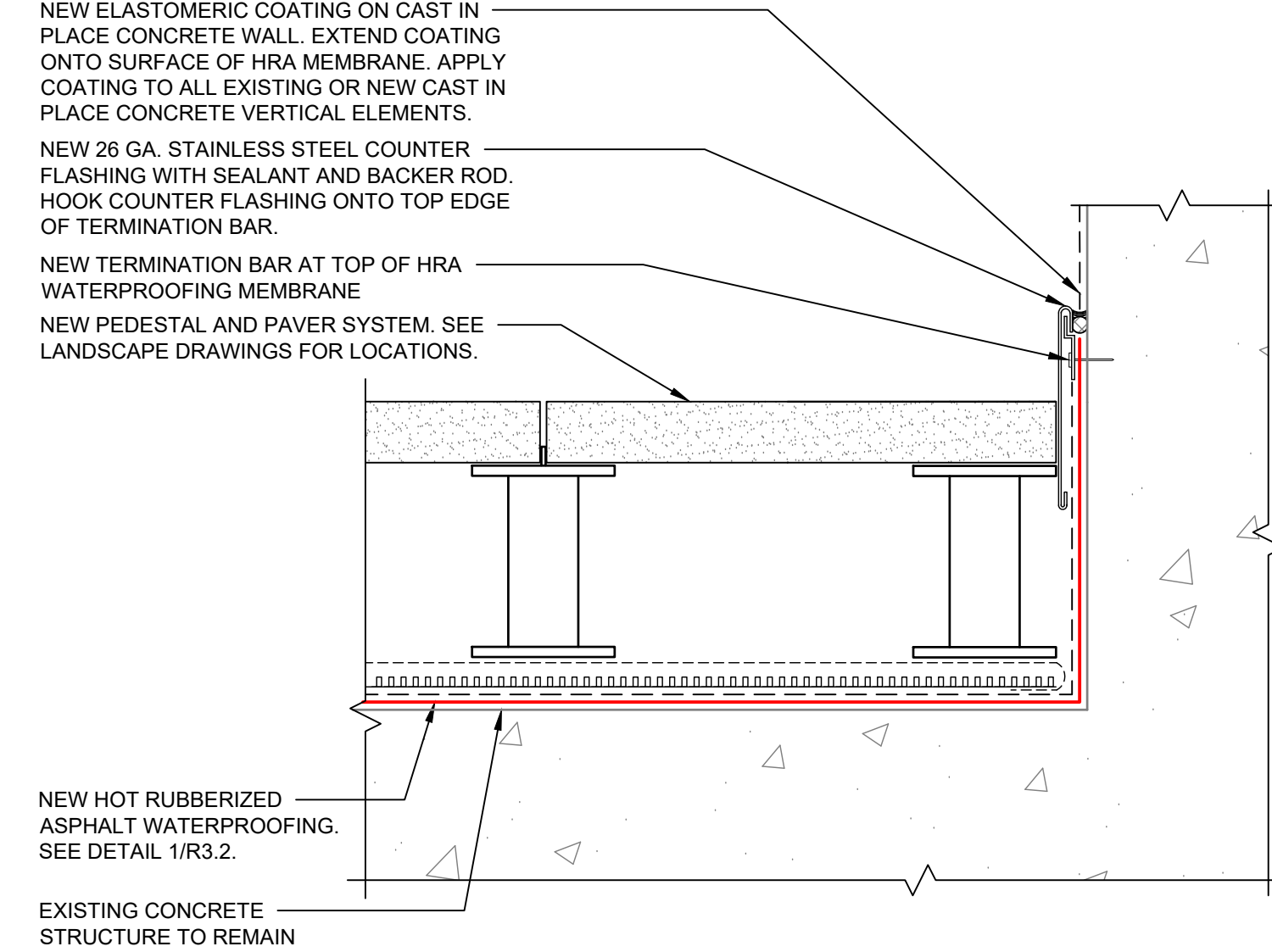
5 WINDOW SILL AT TOPPING SLAB  
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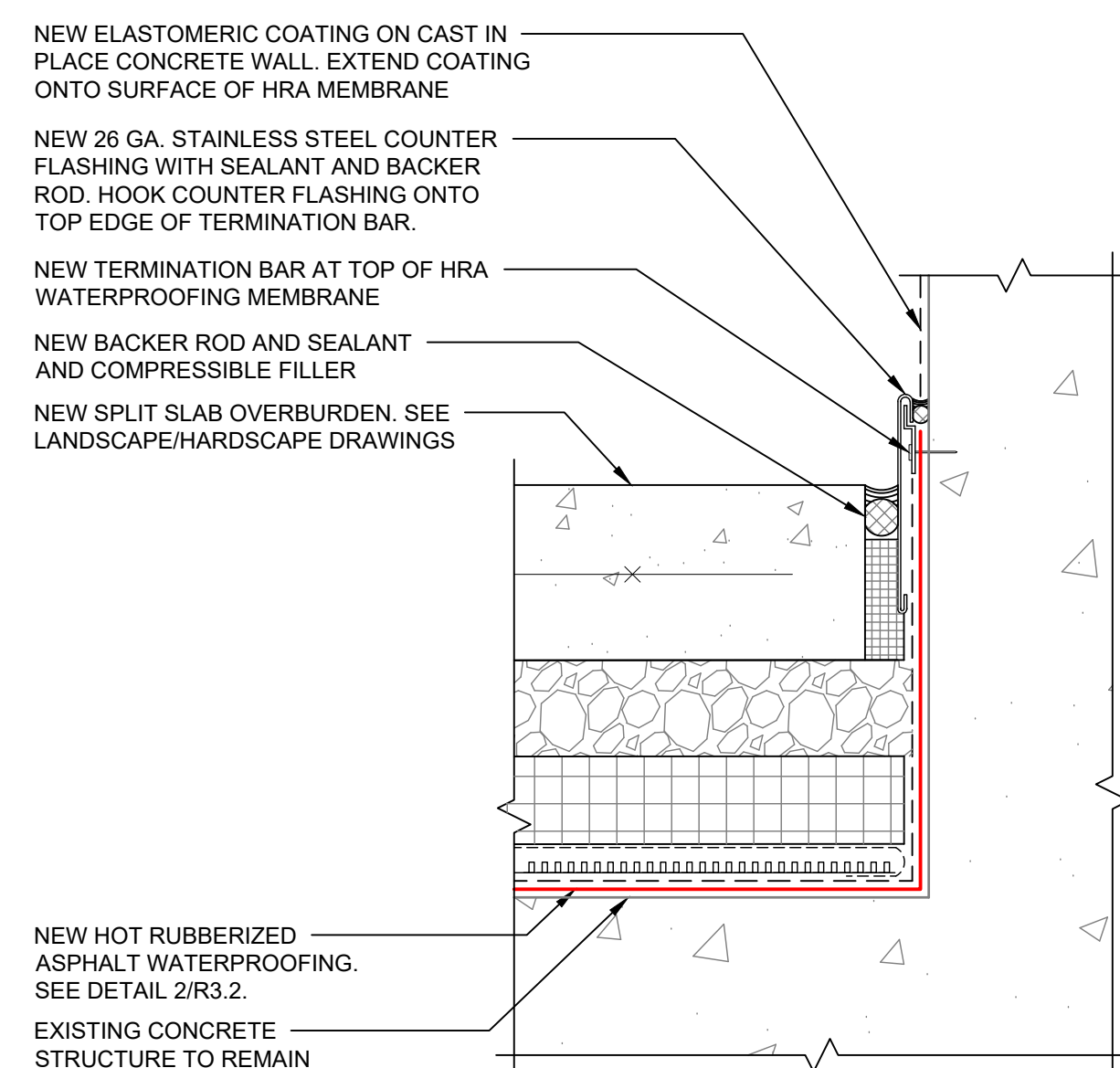
9 NEW PLANTER WALL ATTACHMENT TO STRUCTURAL DECK  
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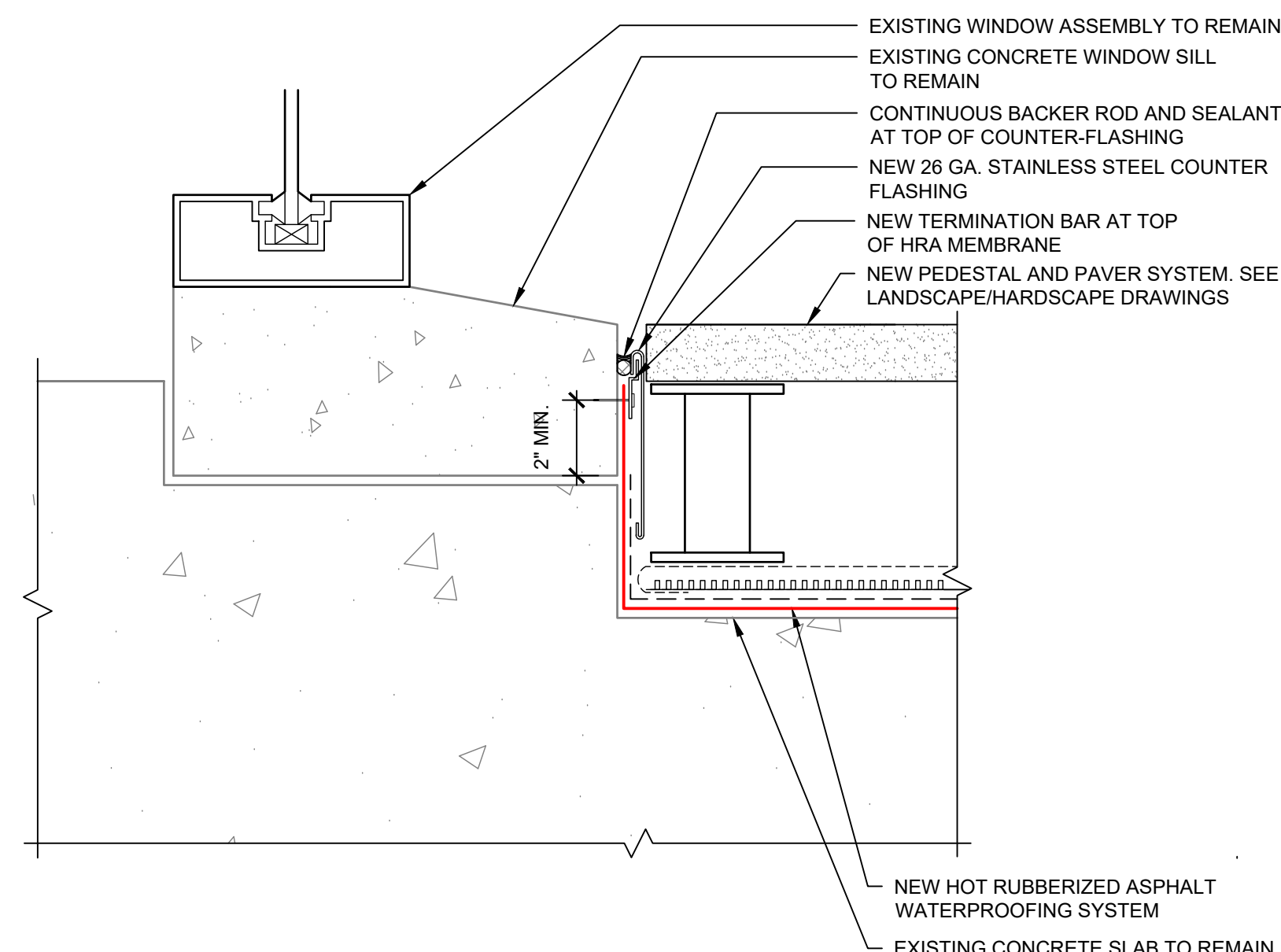
4 CANOPY COLUMN DETAIL  
SCALE: 3" = 1'-0"



3 TYPICAL HRA BASE OF WALL AT PAVERS  
SCALE: 3" = 1'-0"



2 TYPICAL HRA BASE OF WALL AT TOPPING SLAB  
SCALE: 3" = 1'-0"



1 WINDOW SILL AT PEDESTAL AND PAVERS  
SCALE: 3" = 1'-0"



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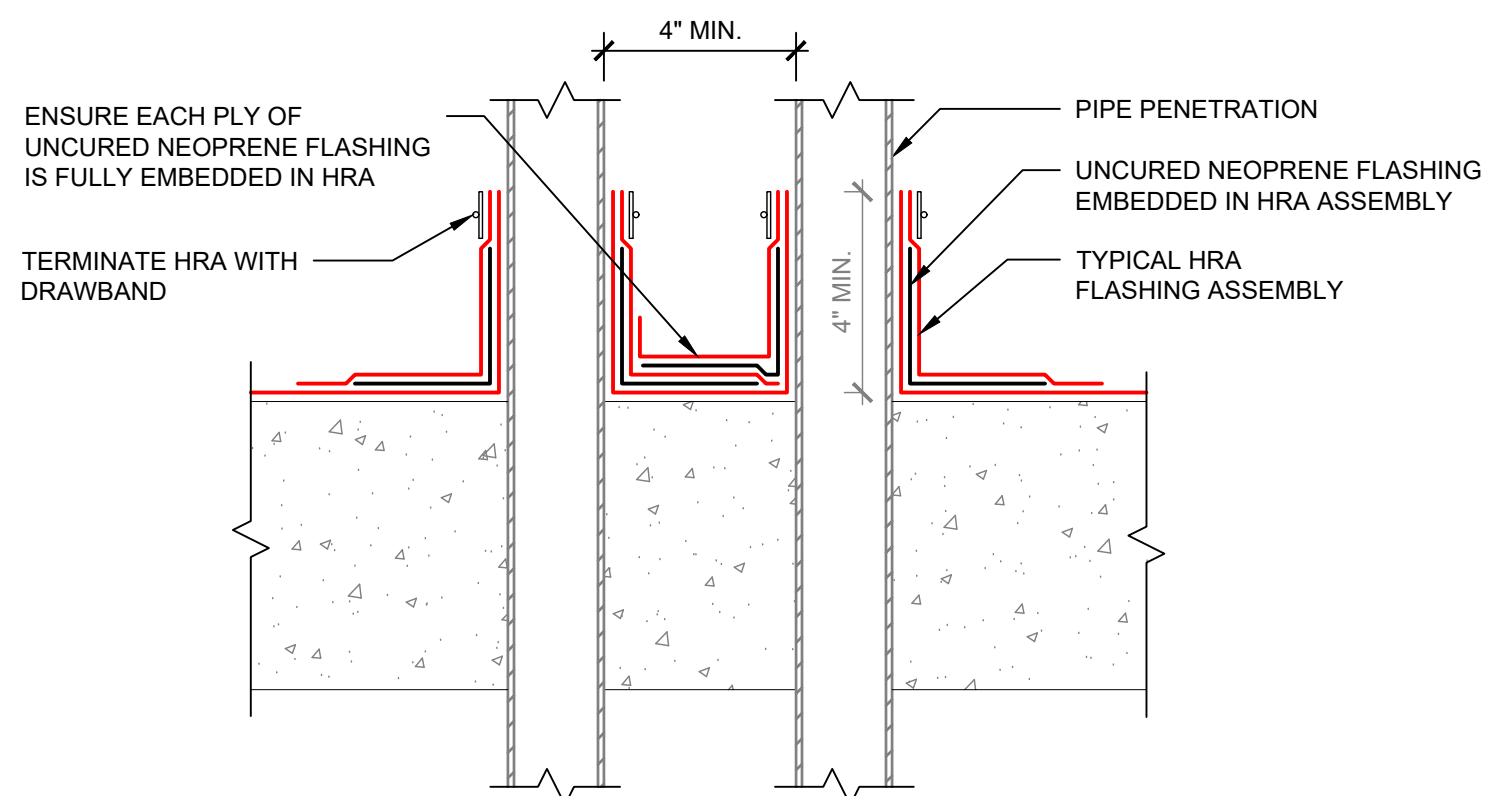
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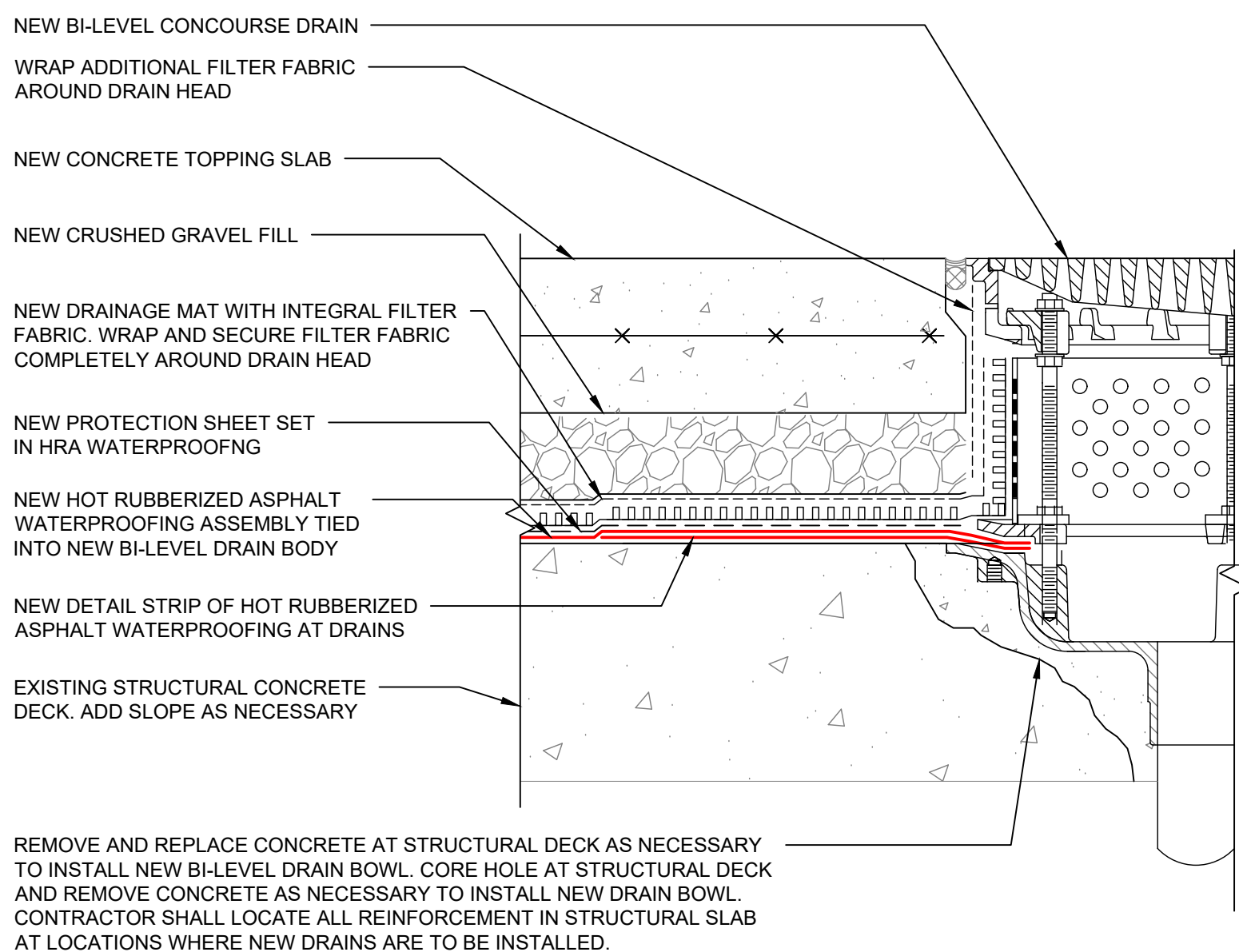
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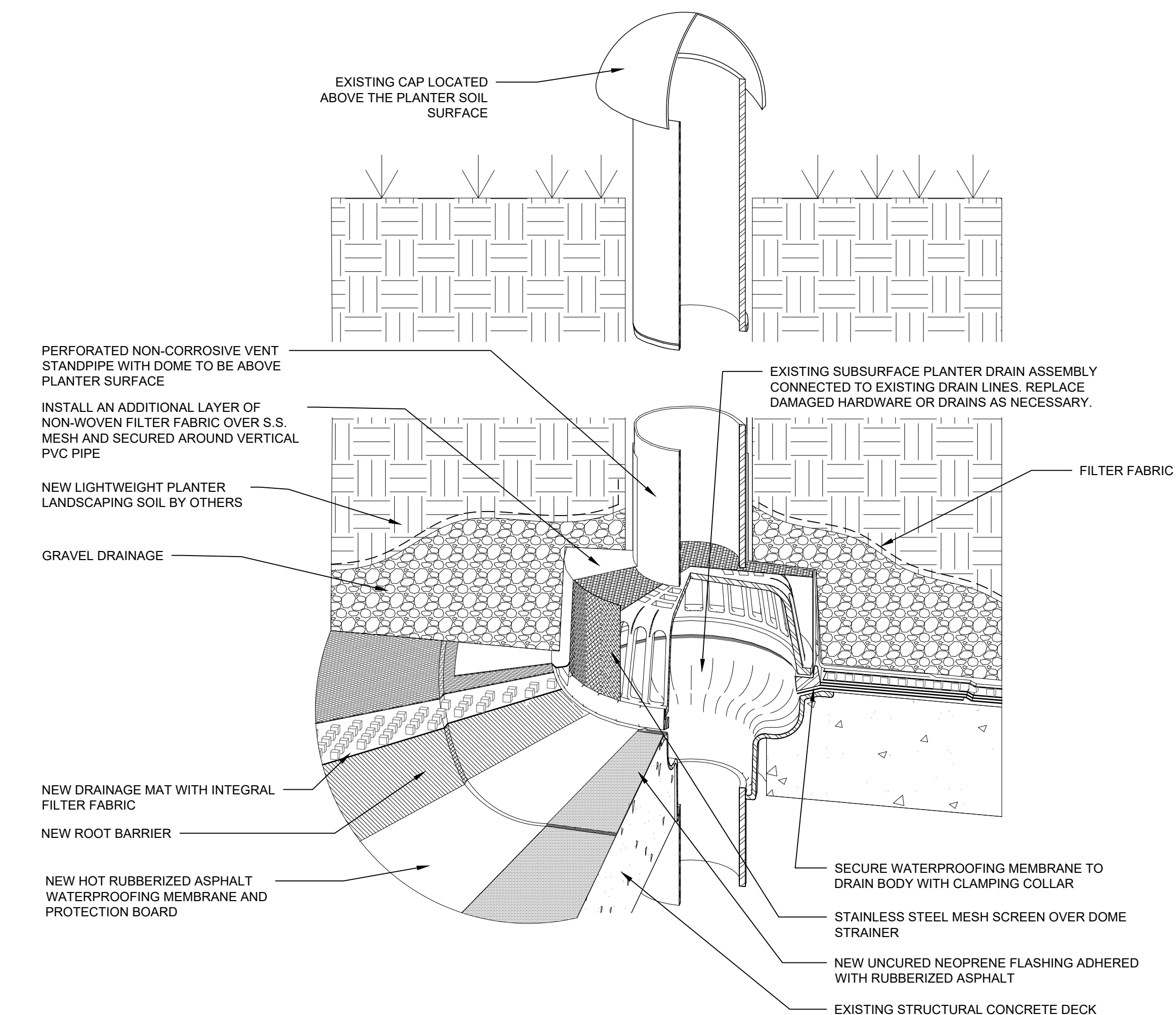
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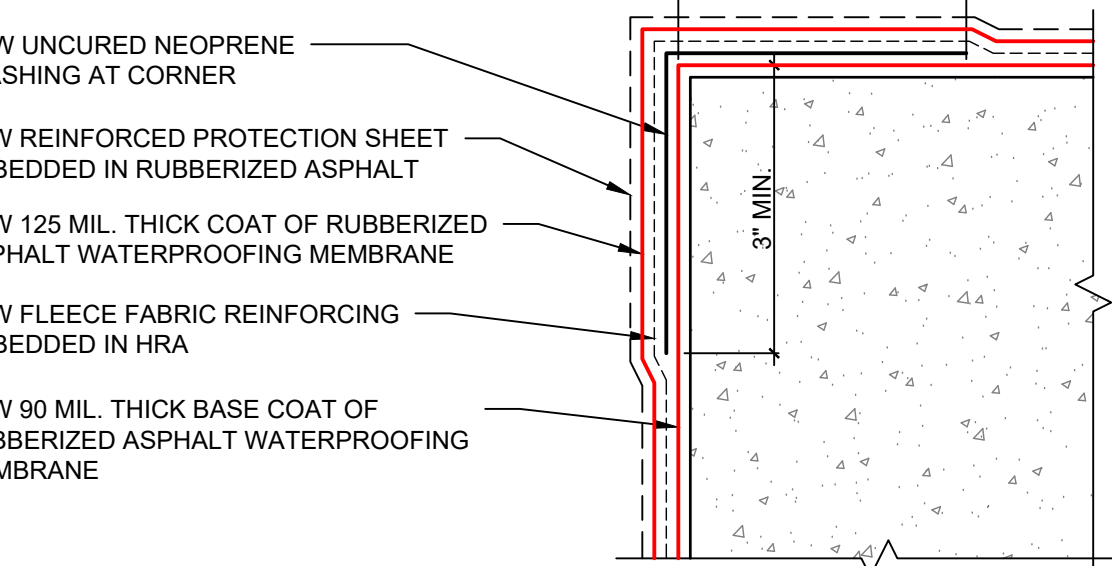
19 PENETRATION SPACING DETAIL



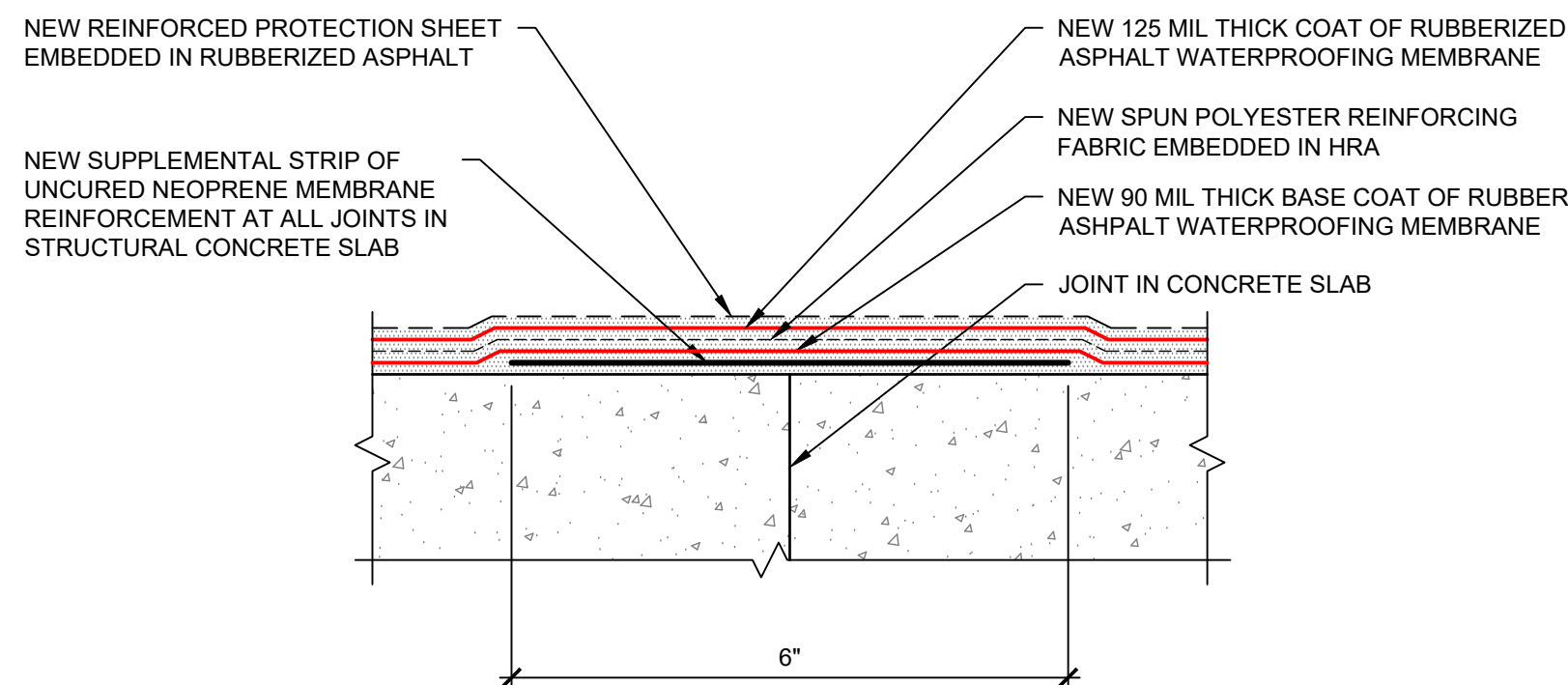
16 DUAL-STAGE PLAZA DRAIN DETAIL



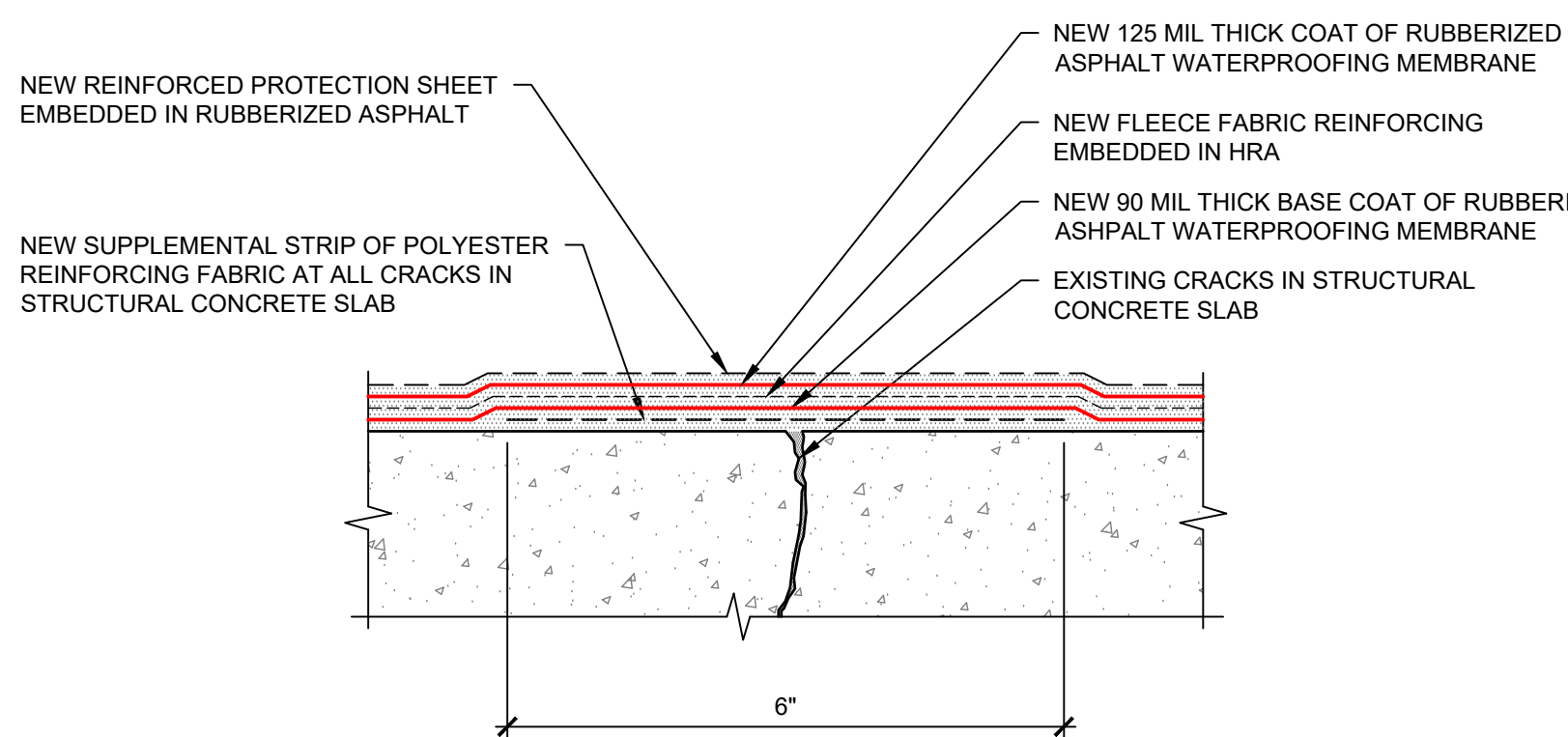
9 PLANTER DRAIN DETAIL



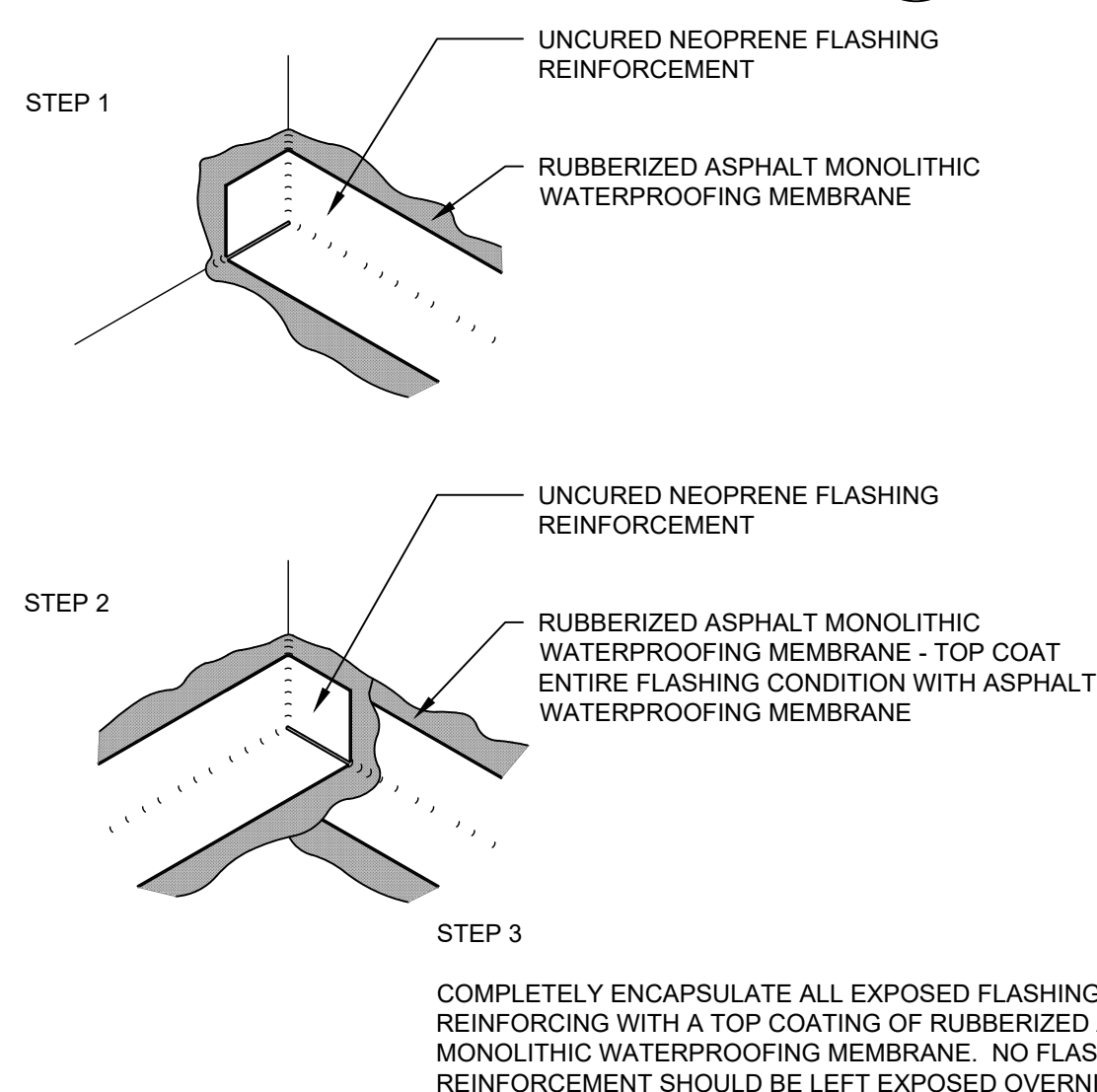
5 TYPICAL HRA OUTSIDE CORNER



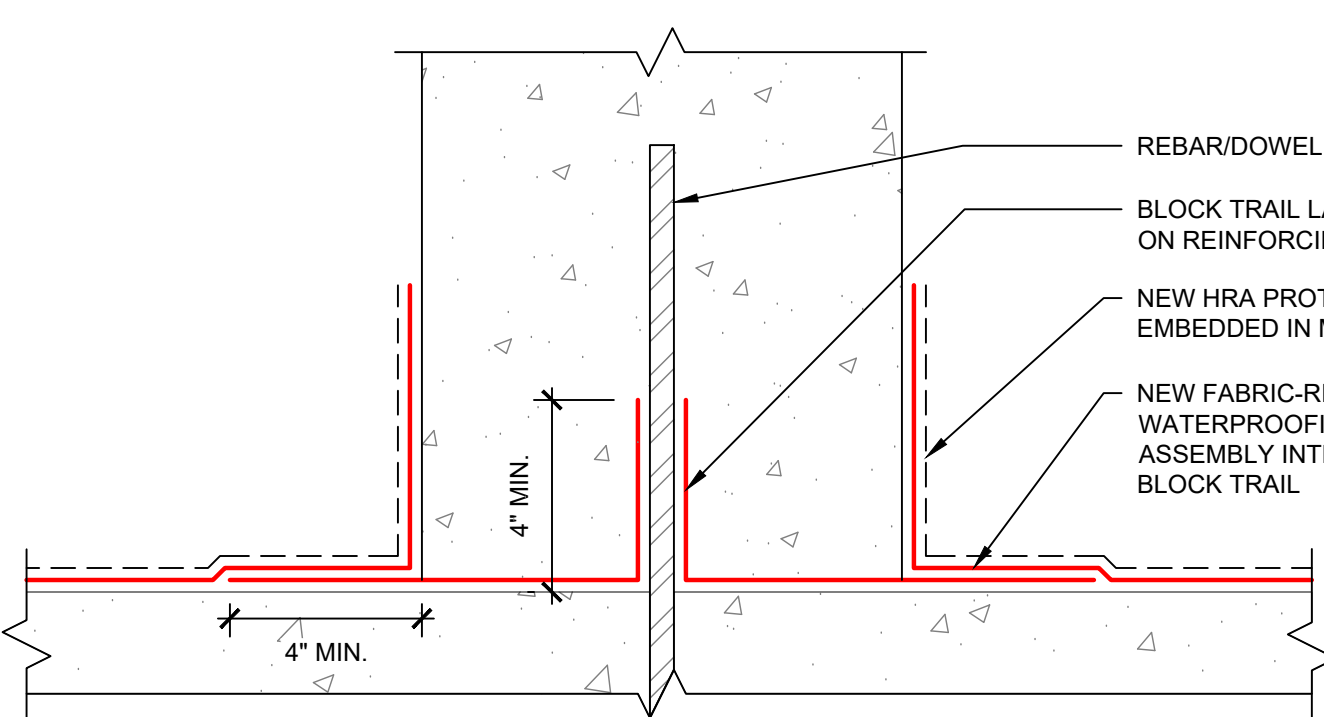
18 TYPICAL MEMBRANE DETAIL AT CONSTRUCTION JOINT



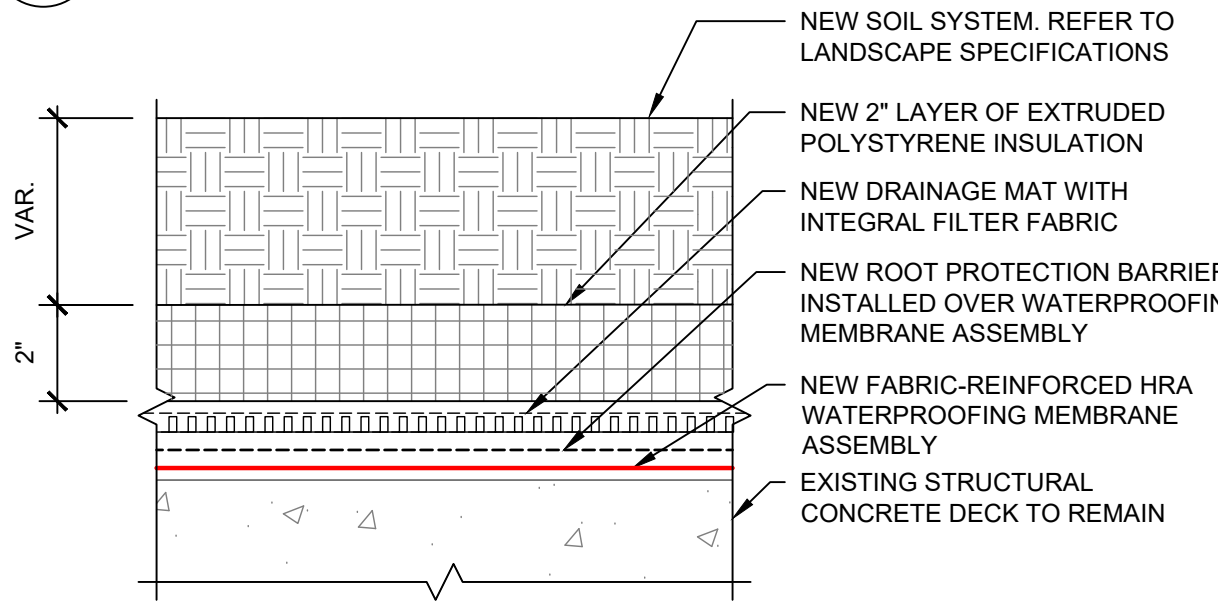
15 TYPICAL MEMBRANE DETAIL AT CRACK



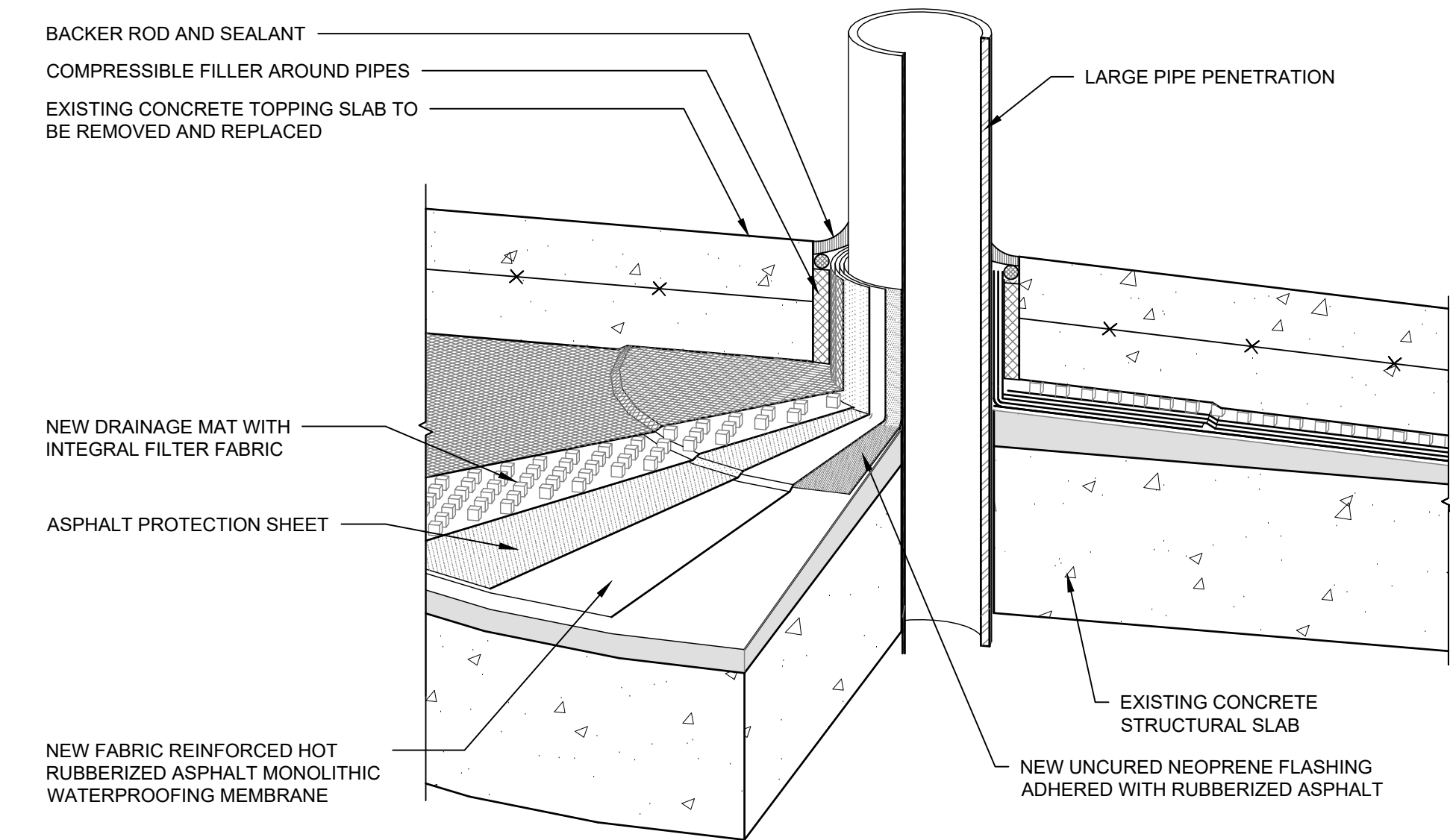
12 TYPICAL INSIDE CORNER FLASHING



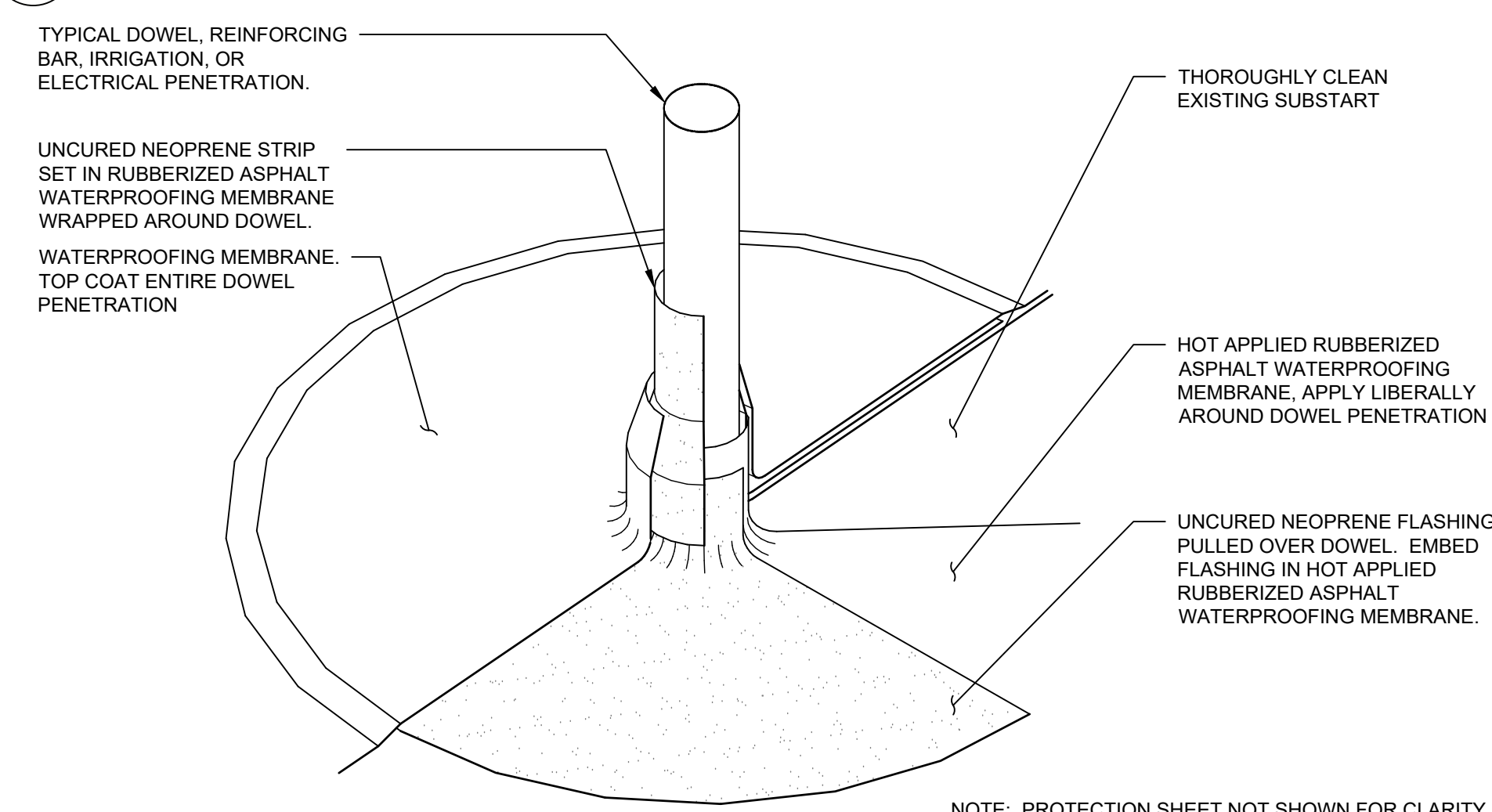
8 TYPICAL BLOCK TRAIL DETAIL



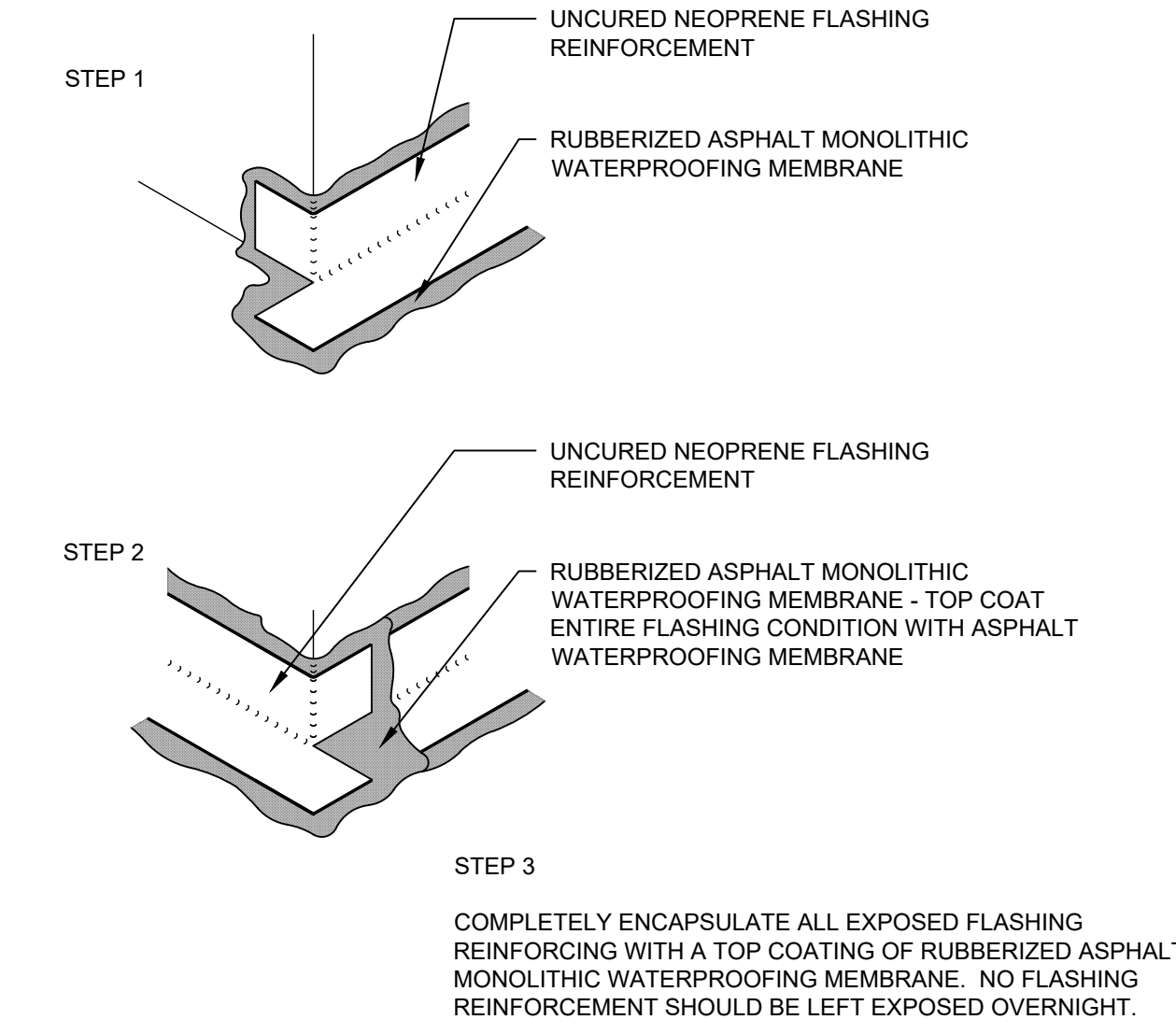
3 TYPICAL ASSEMBLY AT PLANTER



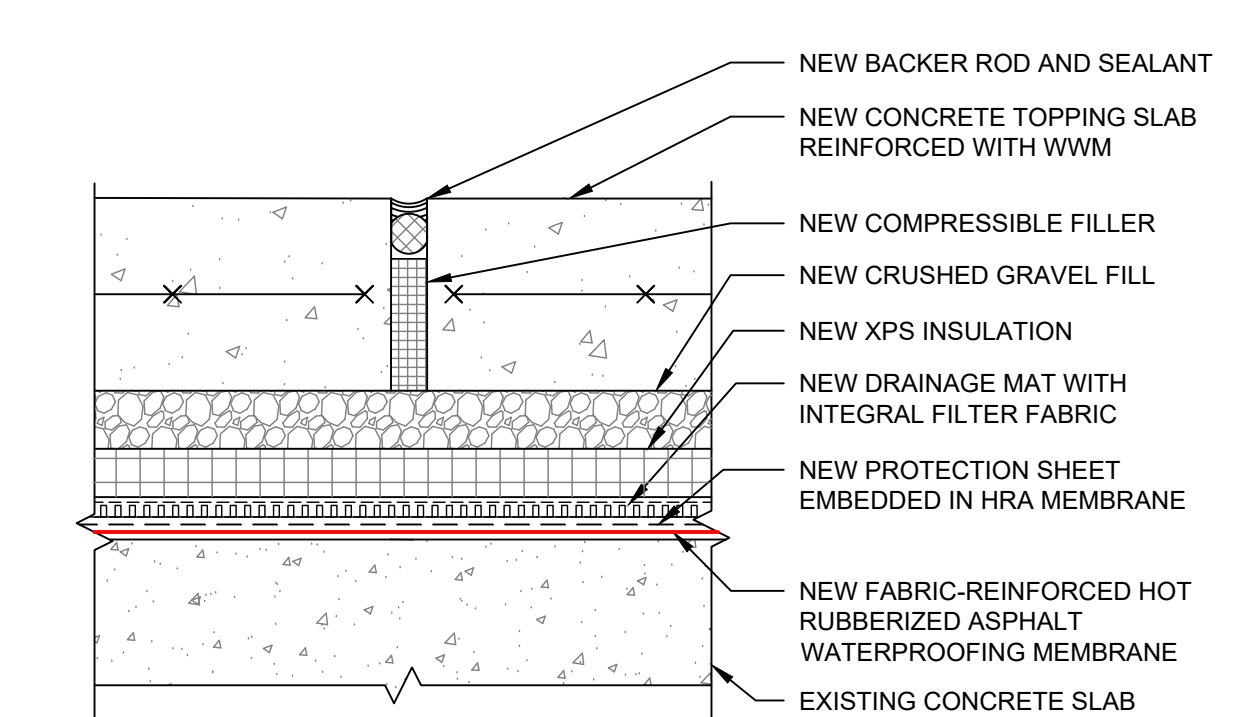
17 TYPICAL HRA PIPE PENETRATION



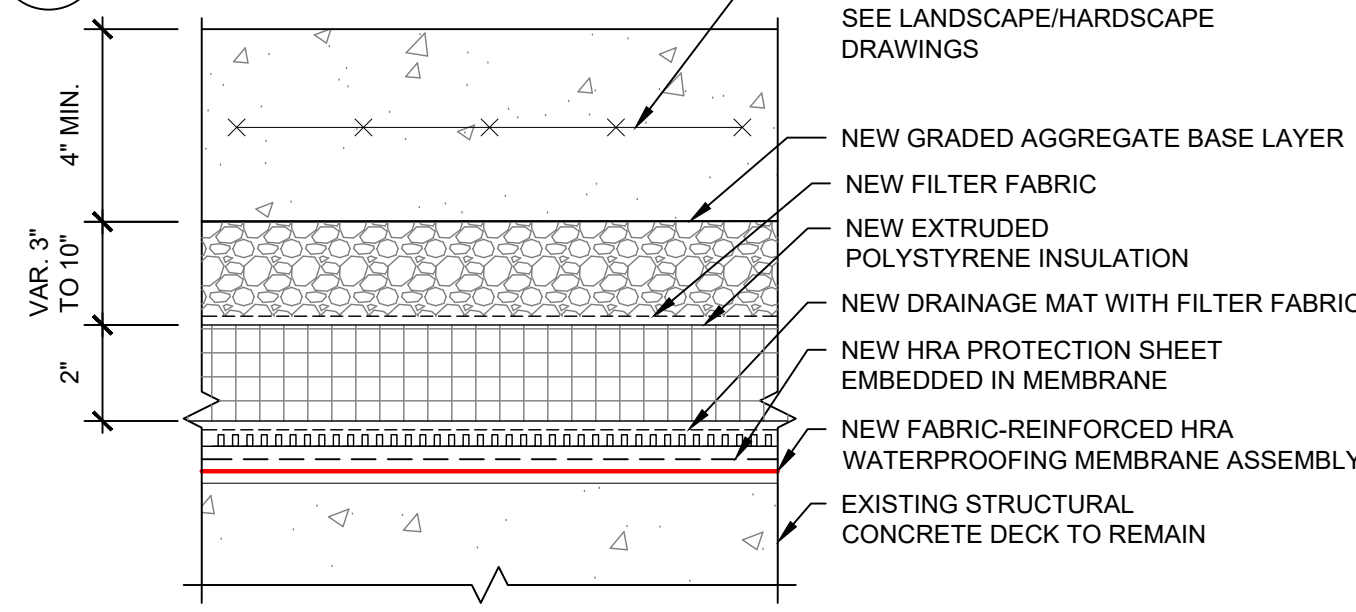
14 TYPICAL SMALL PENETRATION DETAIL



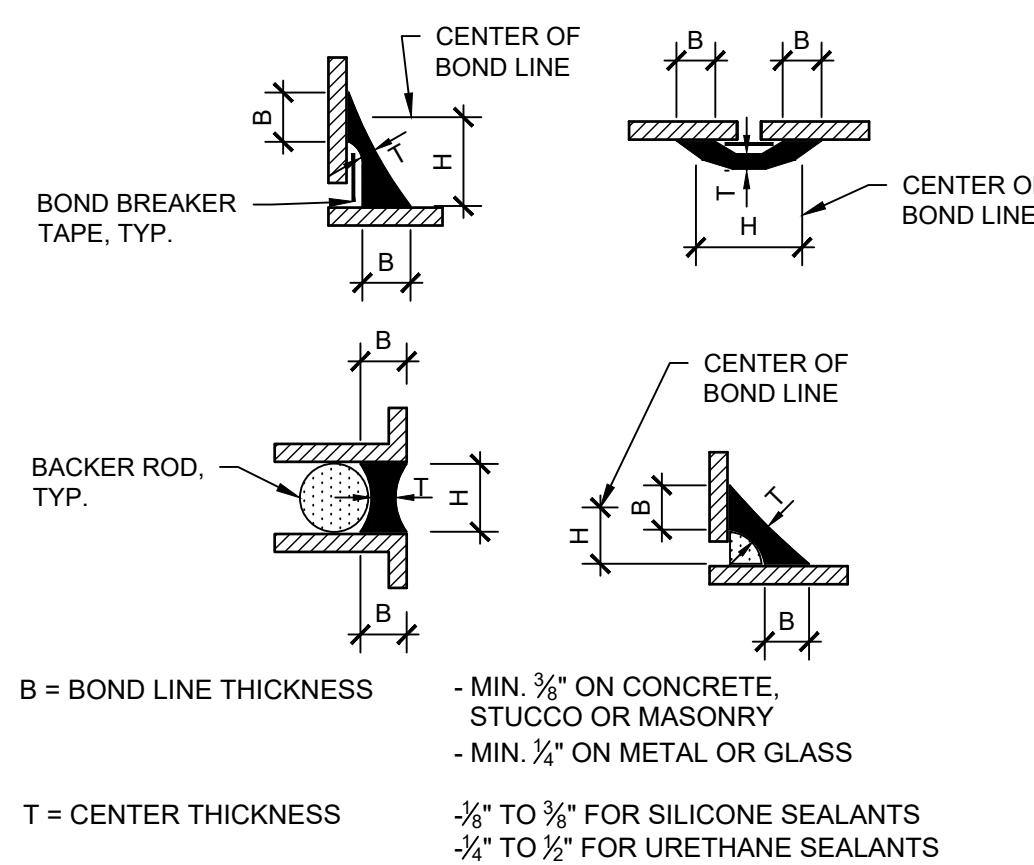
11 TYPICAL OUTSIDE CORNER DETAIL



7 TYPICAL TOPPING SLAB CONSTRUCTION JOINT

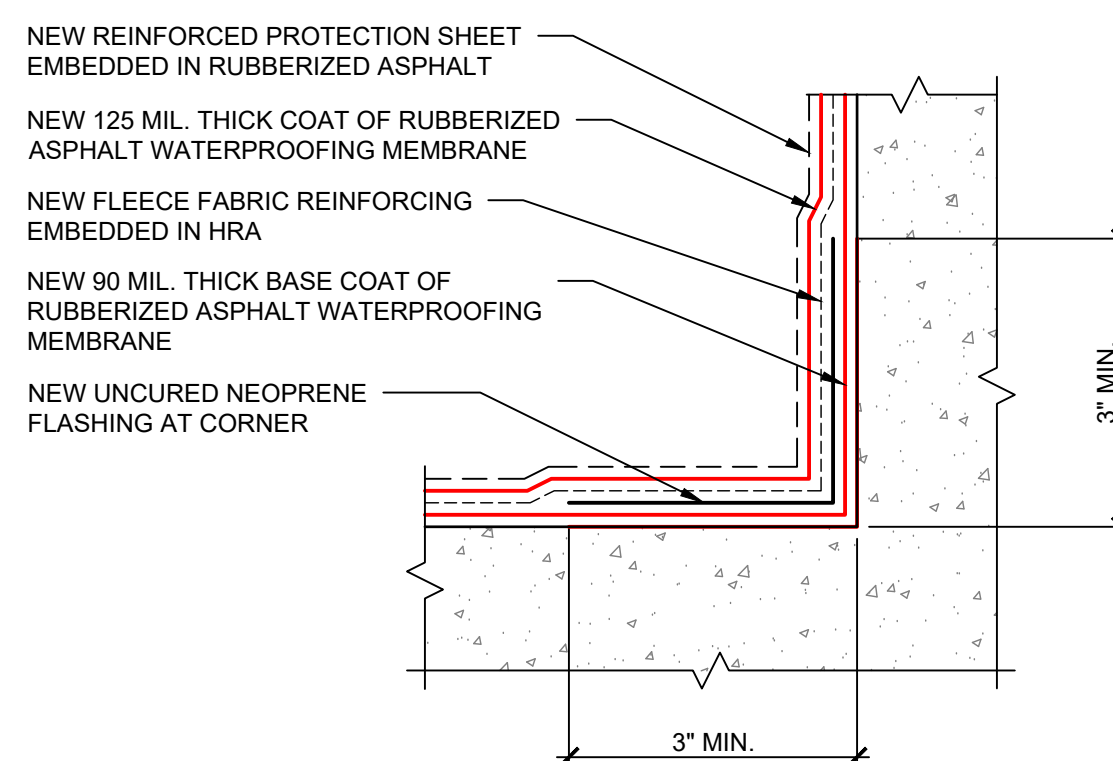


2 TYPICAL ASSEMBLY AT CONCRETE TOPPING SLAB

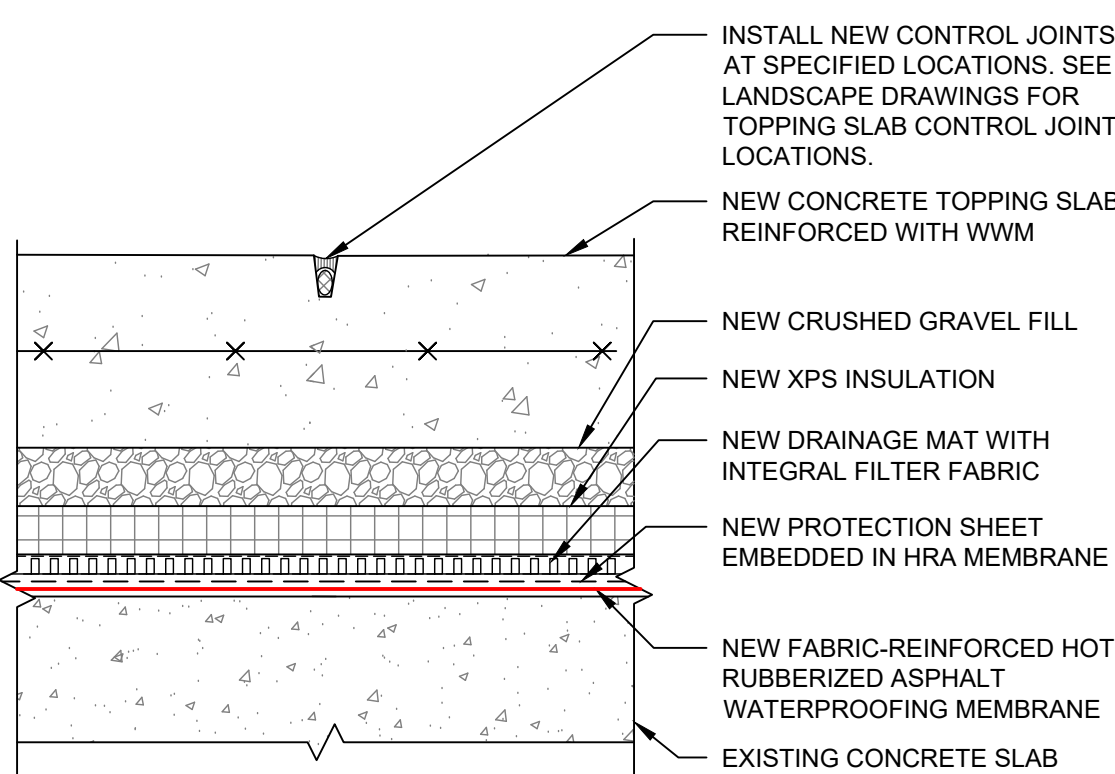


SEALANT CHART	
W	D
1/4 IN.	1/4 IN.
1/4 TO 1/2 IN.	1/4 IN.
1/2 TO 1 IN.	W/2
GREATER THAN 1 IN.	W/2

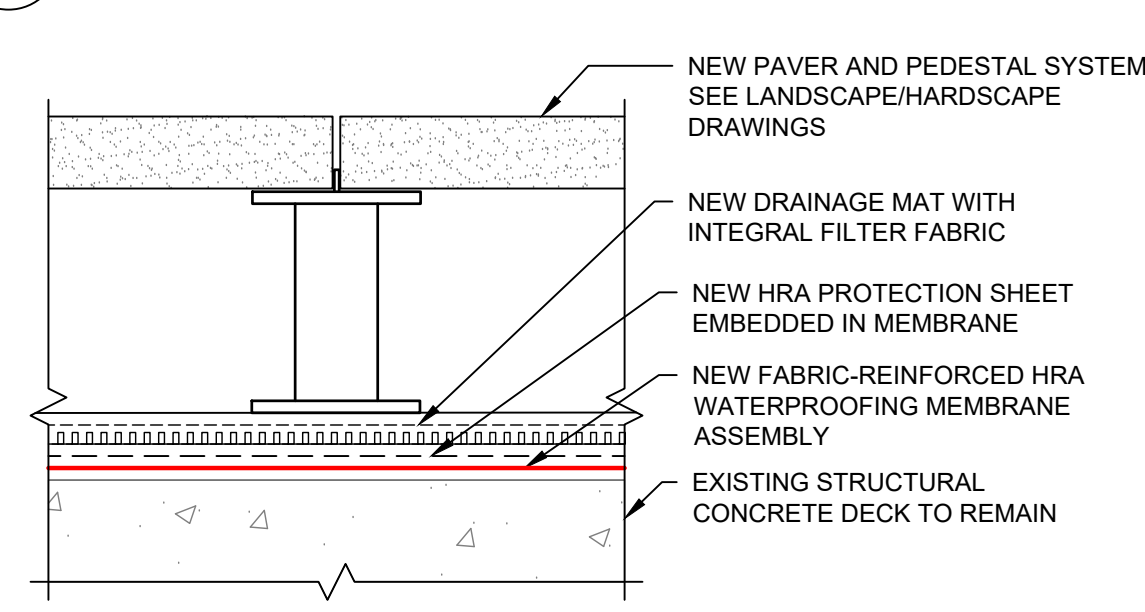
13 SEALANT CHART AND PROFILES



10 TYPICAL HRA INSIDE CORNER



6 TYPICAL TOPPING SLAB CONTROL JOINT



1 TYPICAL ASSEMBLY AT PAVERS



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Condominium Association  
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Scale As Noted

Sheet Title

Sheet No.

Typical Details

R3.2



## 10 CONSTRUCTION JOINT DOWEL DETAIL

## 10 CONSTRUCTION JOINT DOWEL DETAIL

SECTION THROUGH DRIVE AISLE (NE CORNER)

1 PAVEMENT AT PLANTER WALL - LOW



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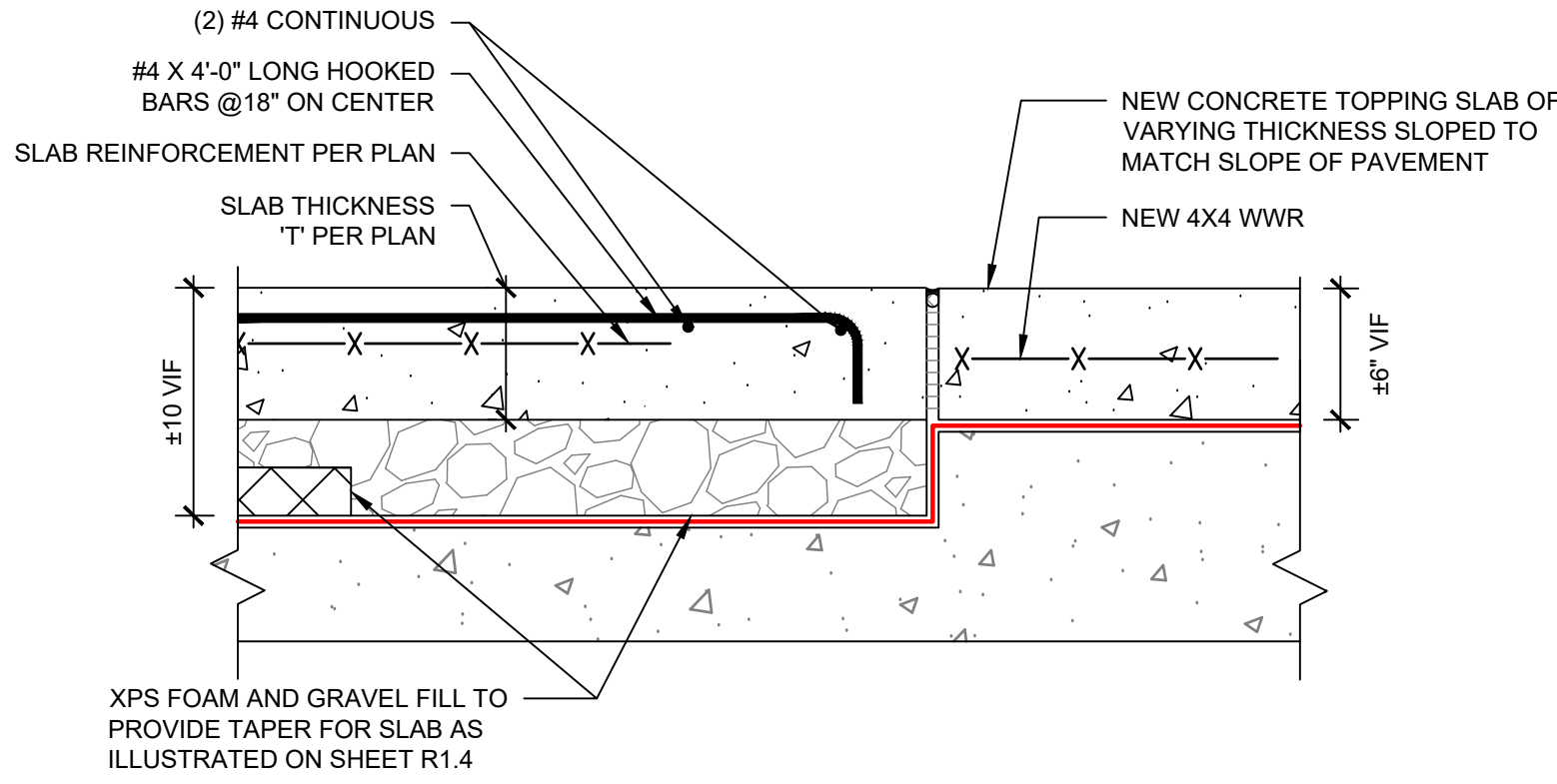
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Concrete Pavement  
Details

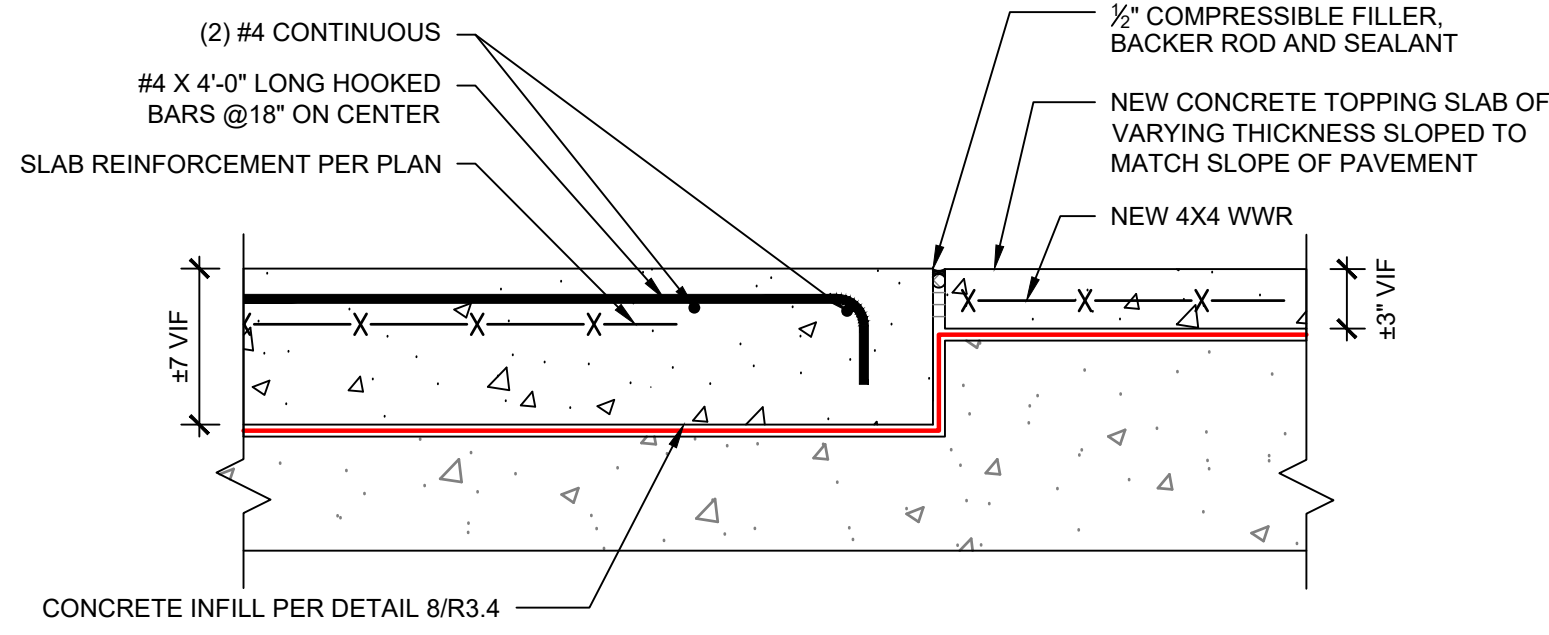
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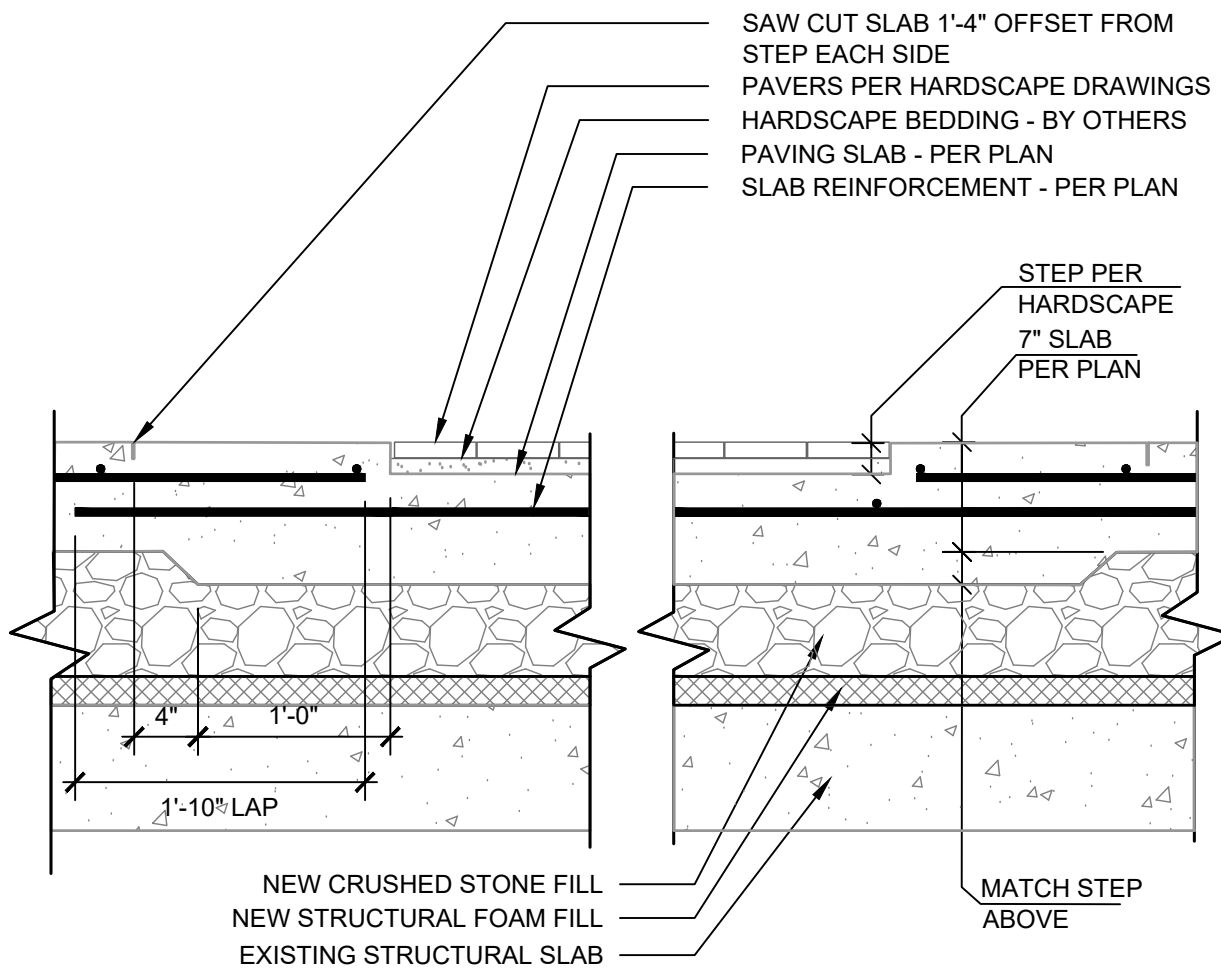
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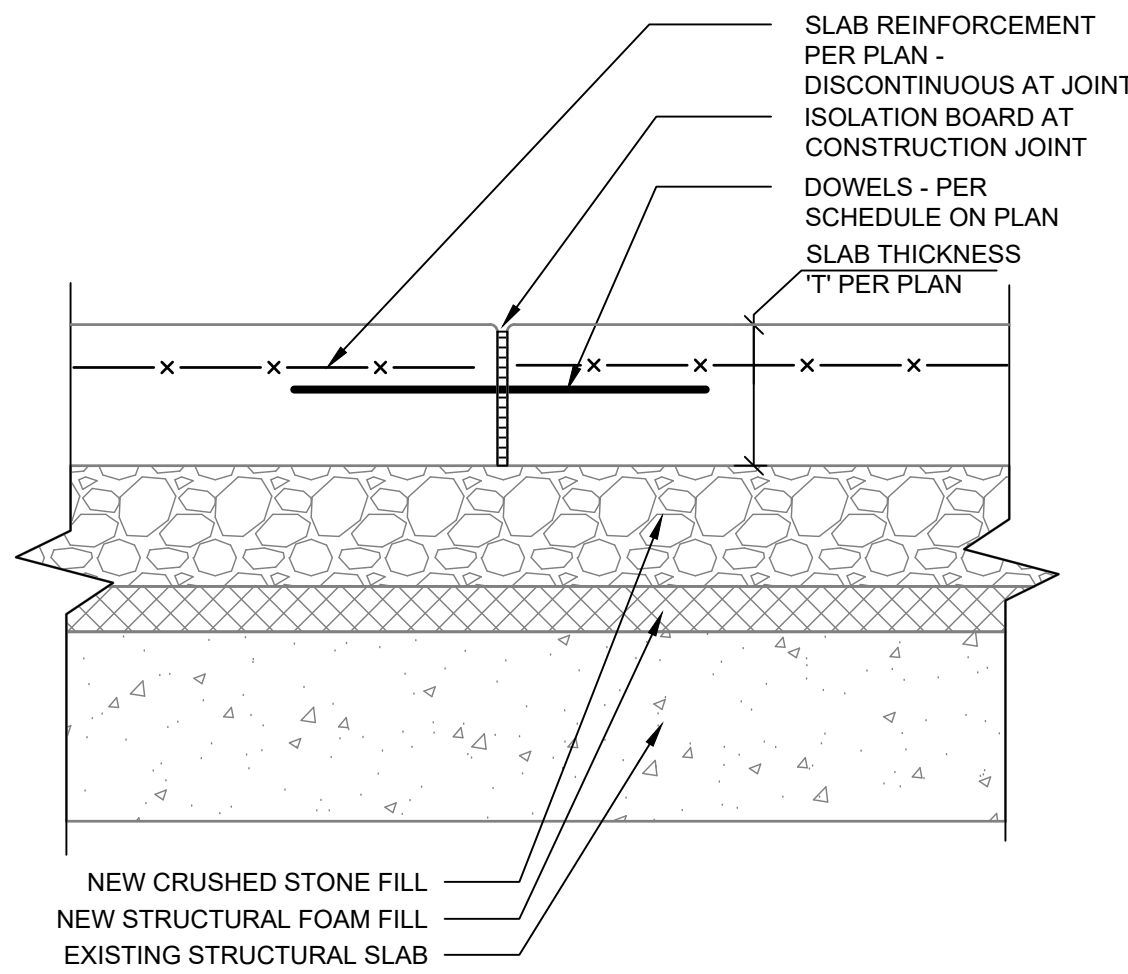
7 PLANTER STEP - HIGH SIDE  
SCALE: 1/2" = 1'-0"



6 PLANTER STEP - LOW SIDE  
SCALE: 1/2" = 1'-0"

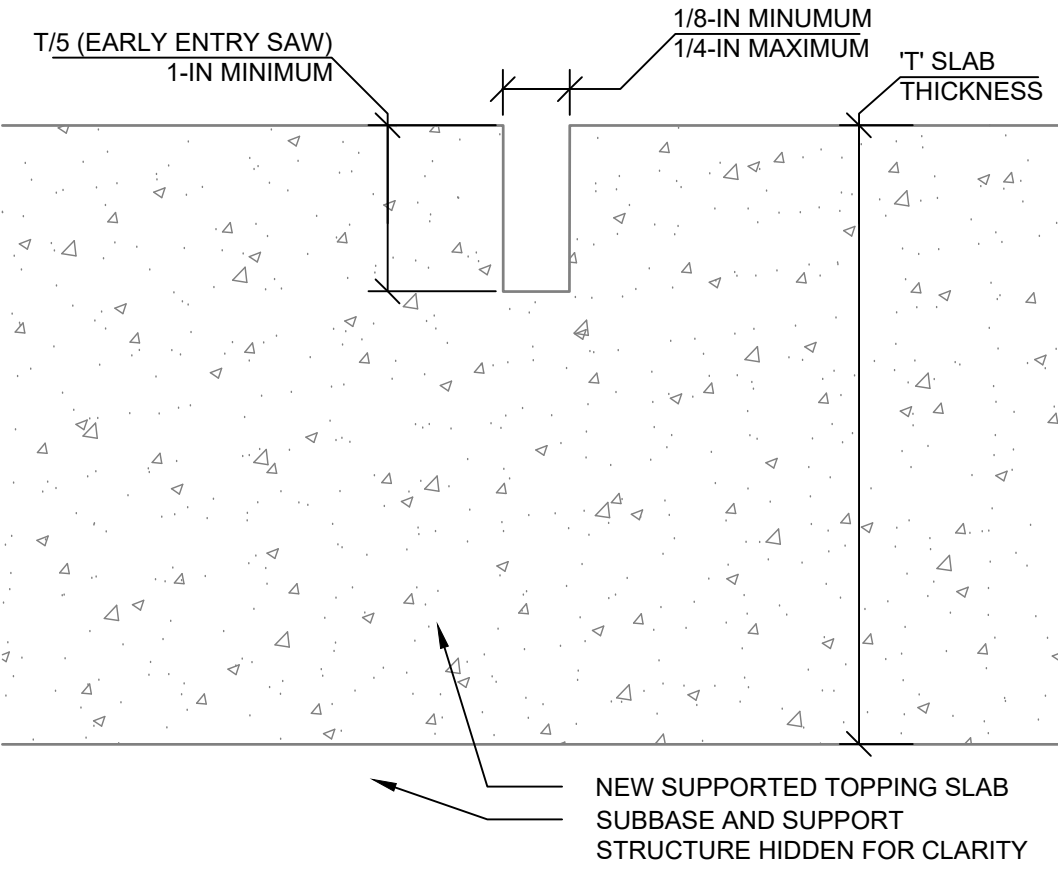


5 SLAB DEPRESSION AT FLUSH PAVER CONDITION  
SCALE: 1" = 1'-0"



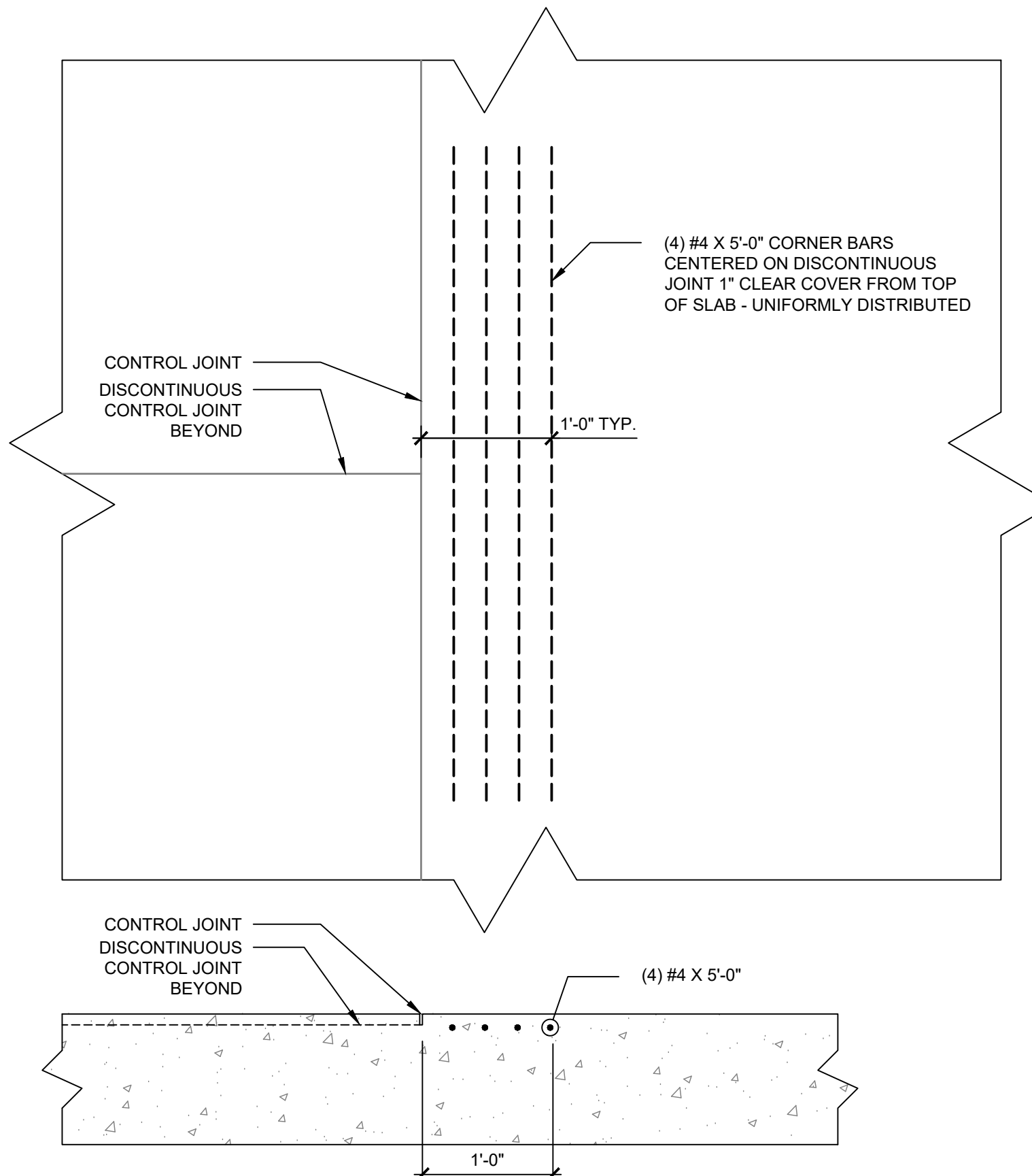
NOTE:  
1) THIS DETAIL SHALL BE ONLY USED AT SUPPLEMENTAL CONSTRUCTION JOINTS NEEDED FOR CONCRETE PLACEMENT SEQUENCING.

4 INTERIOR ISOLATION JOINT  
SCALE: 1" = 1'-0"

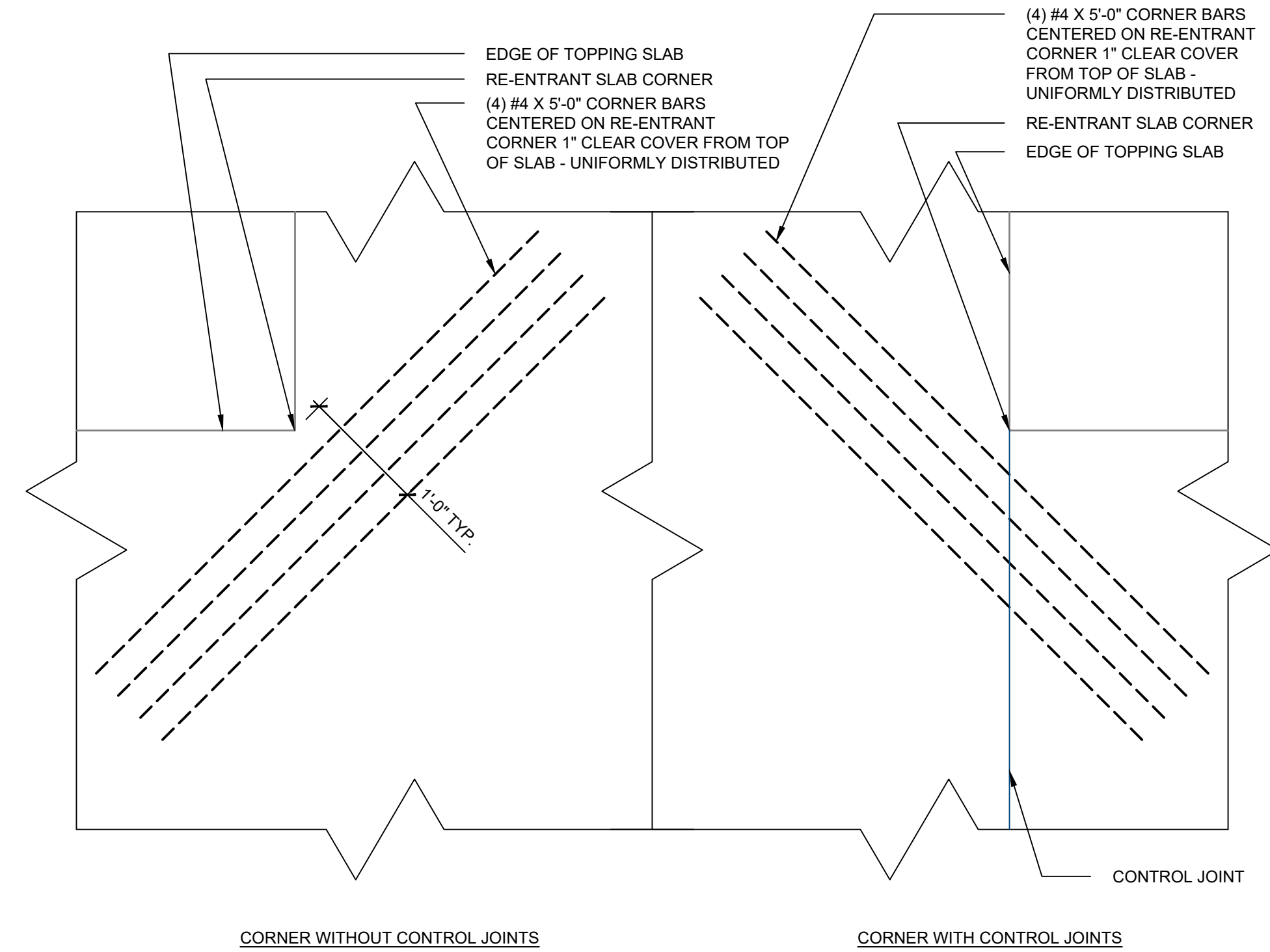


NOTE:  
1) EARLY ENTRY SAWS REFER TO SAWS CUTTING CONTROL JOINTS NO MORE THAN 3 HOURS AFTER FINISHING

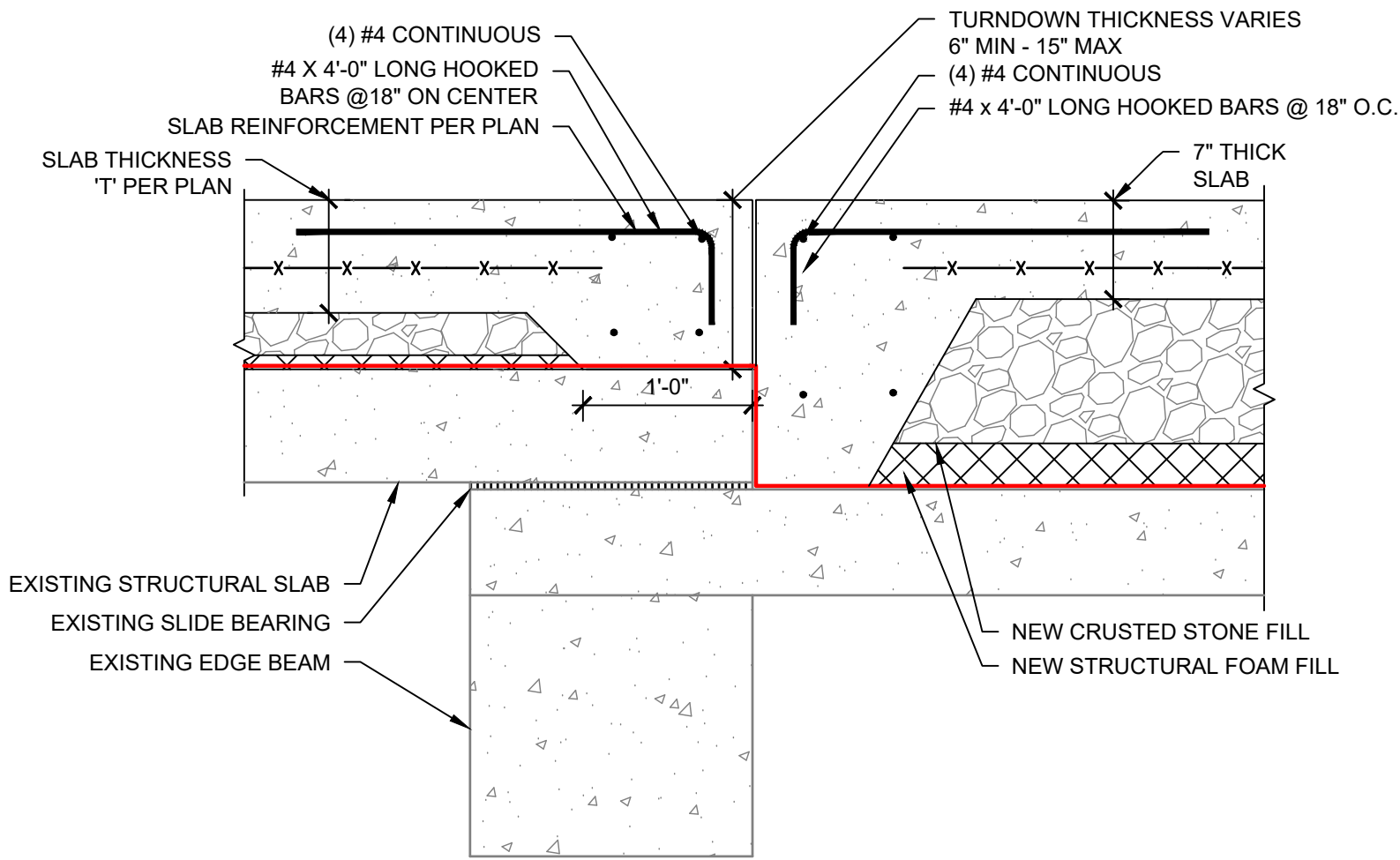
3 CONTROL JOINT DETAIL  
SCALE: 1" = 1'-0"



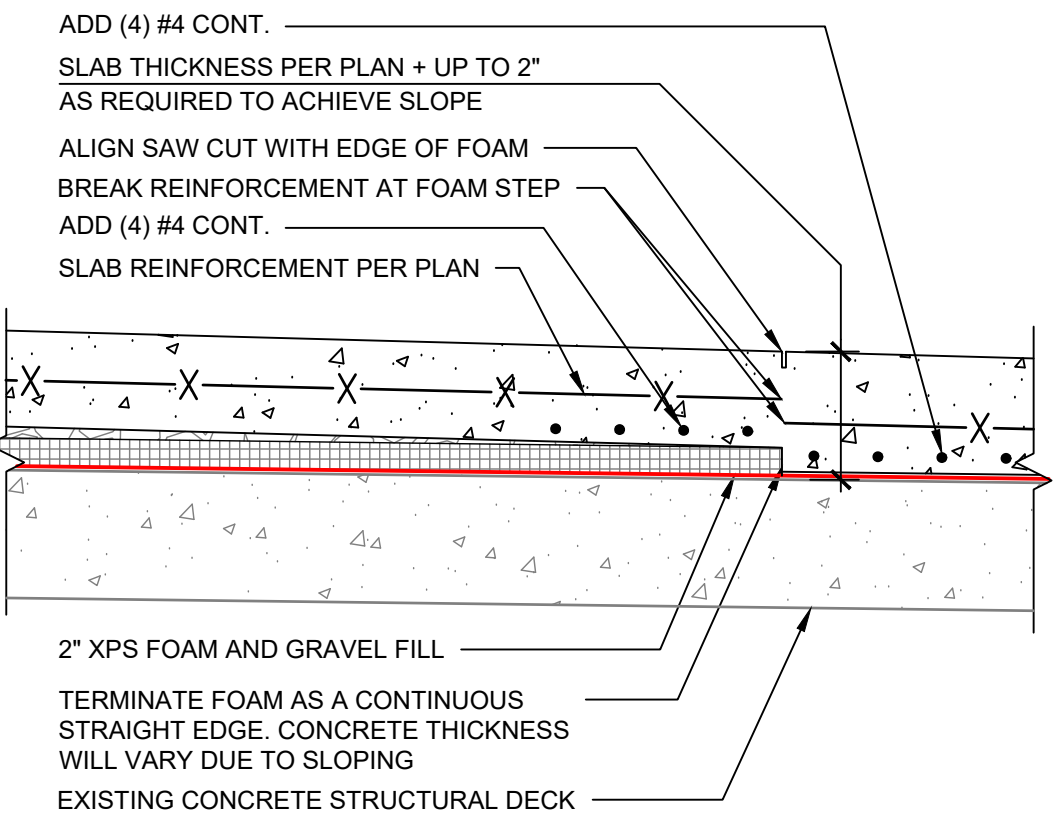
2 SUPPLEMENTAL REINFORCING AT JOINT TERMINUS  
SCALE: 1" = 1'-0"



1 SUPPLEMENTAL REINFORCING AT CORNERS  
SCALE: 1" = 1'-0"

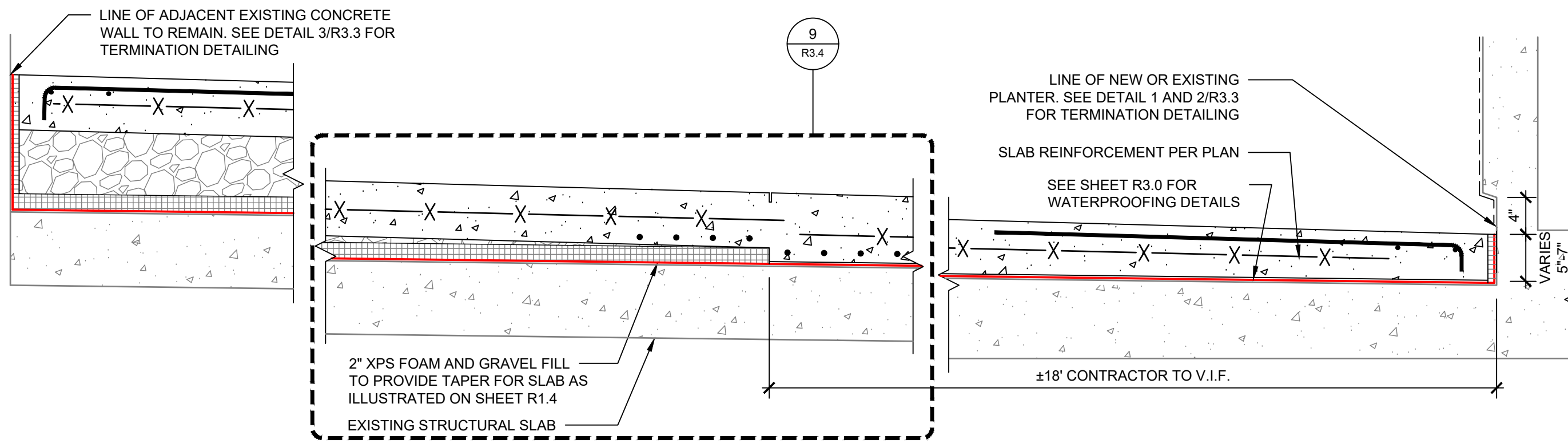


10 SECTION THROUGH CONSTRUCTION JOINT (NE CORNER)  
SCALE: 1" = 1'-0"



NOTE:  
TRANSITION DETAIL SHALL BE USED WHERE ASSEMBLY THICKNESS FORCES THE CONCRETE DECK TO BE LESS THAN THE SCHEDULED THICKNESS.  
APPROXIMATE LOCATIONS ARE SHOWN ON PLAN FOR REFERENCE. NOTIFY WJE IF ADDITIONAL CONDITIONS ARE PRESENT WITH A TOTAL ASSEMBLY THICKNESS LESS THAN THE SCHEDULED PAVING SLAB THICKNESS +2".

9 PAVING SLAB TRANSITION FROM FOAM TO CONCRETE  
SCALE: 1" = 1'-0"

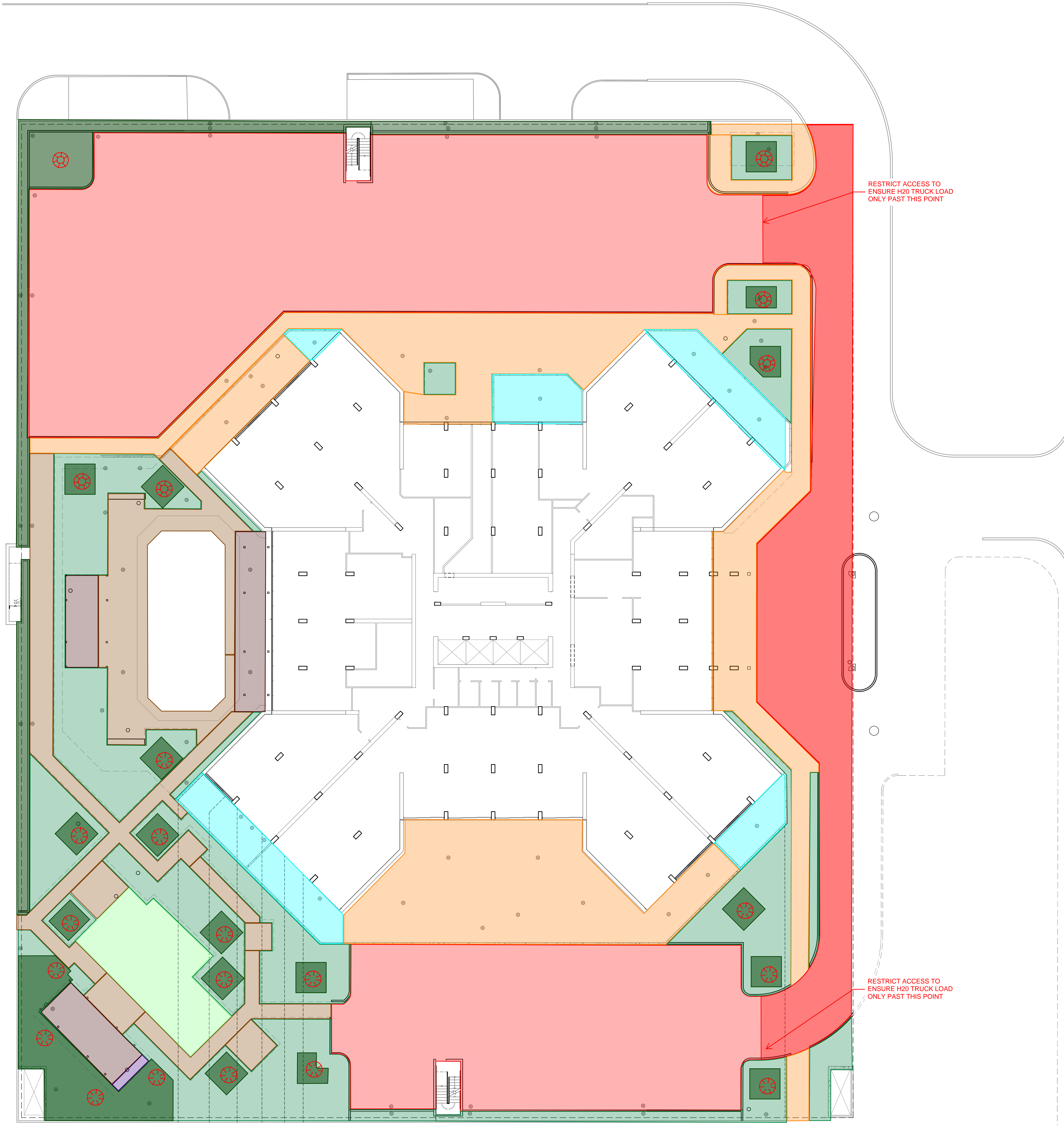


8 SECTION THROUGH VALET PARKING SLAB  
SCALE: 1" = 1'-0"



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Public: 4/10/2024 4:10:30 PM by Corral, Robin File Name: P:\2020\7251.1\2020\7251.1 - PARK PLACE ON PEACHTREE (CONCEPT) Drawings\Sheet\04 PLZ Level New Loading Plan.dwg

1 NEW LOADING PLAN  
SCALE: 1/8" = 1'-0"



NEW LOAD LEGEND

- N1**

NEW LOAD 1:  
PARKING WITH H20 TRUCK LOAD RATING  
DEAD LOAD: 50 PSF  
LIVE LOAD: H20 OR 40 PSF  
RAIN LOAD: 0 PSF
- N2**

NEW LOAD 2:  
PARKING WITH H40 TRUCK LOAD RATING  
DEAD LOAD: 50 PSF  
LIVE LOAD: H40 OR 40 PSF  
RAIN LOAD: 20 PSF
- N3**

NEW LOAD 3:  
SHALLOW PLANTER<sup>1</sup>  
DEAD LOAD: 140 PSF  
LIVE LOAD: 40 PSF  
RAIN LOAD: 0 PSF
- N4**

NEW LOAD 4:  
DEEP PLANTER<sup>2</sup>  
DEAD LOAD: 280 PSF  
LIVE LOAD: 100 PSF  
RAIN LOAD: 0 PSF
- N5**

NEW LOAD 5:  
ENCLOSED AMENITY BALCONY  
DEAD LOAD: 85 PSF  
LIVE LOAD: 100 PSF  
RAIN LOAD: 20.8 PSF
- N6**

NEW LOAD 6:  
POOL  
DEAD LOAD: 125 PSF  
LIVE LOAD: 375 PSF  
RAIN LOAD: 20.8 PSF
- N7**

NEW LOAD 7:  
PUBLIC AMENITY AND CORRIDORS  
DEAD LOAD: 80 PSF  
LIVE LOAD: 100 PSF  
RAIN LOAD: 20.8 PSF
- N8**

NEW LOAD 8:  
GRASS/TURF<sup>3</sup>  
DEAD LOAD: 50 PSF  
LIVE LOAD: 100 PSF  
RAIN LOAD: 0 PSF
- N9**

NEW LOADING 9:  
PEDESTAL PAVERS  
DEAD LOAD: 45 PSF  
LIVE LOAD: 100 PSF  
RAIN LOAD: 20.8 PSF
- N10**

NEW LOADING 10:  
PEDESTAL PAVERS WITH TRELLIS  
DEAD LOAD: 55 PSF  
LIVE LOAD: 100 PSF  
RAIN LOAD: 20.8 PSF
- N11**

NEW LOADING 10:  
BUILT-IN EQUIPMENT  
DEAD LOAD: 75 PSF  
LIVE LOAD: 150 PSF  
RAIN LOAD: 0 PSF
- NEW TREE**

NOTES:  
1) SHALLOW PLANTERS SHALL BE LIMITED TO 18 INCHES OF DEPTH WITH LIGHTWEIGHT SOIL (50 PCF MAX SATURATED DENSITY). WHERE GREATER SOIL HEIGHT IS NEEDED, LIGHTWEIGHT STRUCTURAL FOAM FILL SHALL BE PLACED AS A BASE GRADE TO ENSURE 18" SOIL DEPTH IS NOT EXCEEDED.  
2) DEEP PLANTERS SHALL BE LIMITED TO 42 INCHES OF DEPTH WITH LIGHTWEIGHT SOIL (50 PCF MAX SATURATED DENSITY). DEEP PLANTERS SHALL NOT BE INSTALLED GREATER THAN 5'-0" FROM A NEW TREE LOCATION AS INDICATED ON PLAN.  
3) GRASS/TURF AREAS SHALL BE LIMITED TO 6 INCHES OF LIGHTWEIGHT SOIL (50 PCF MAX SATURATED DENSITY). IF ADDITIONAL DEPTH IS NEEDED, STRUCTURAL FOAM.

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Plaza Level New Loading Plan

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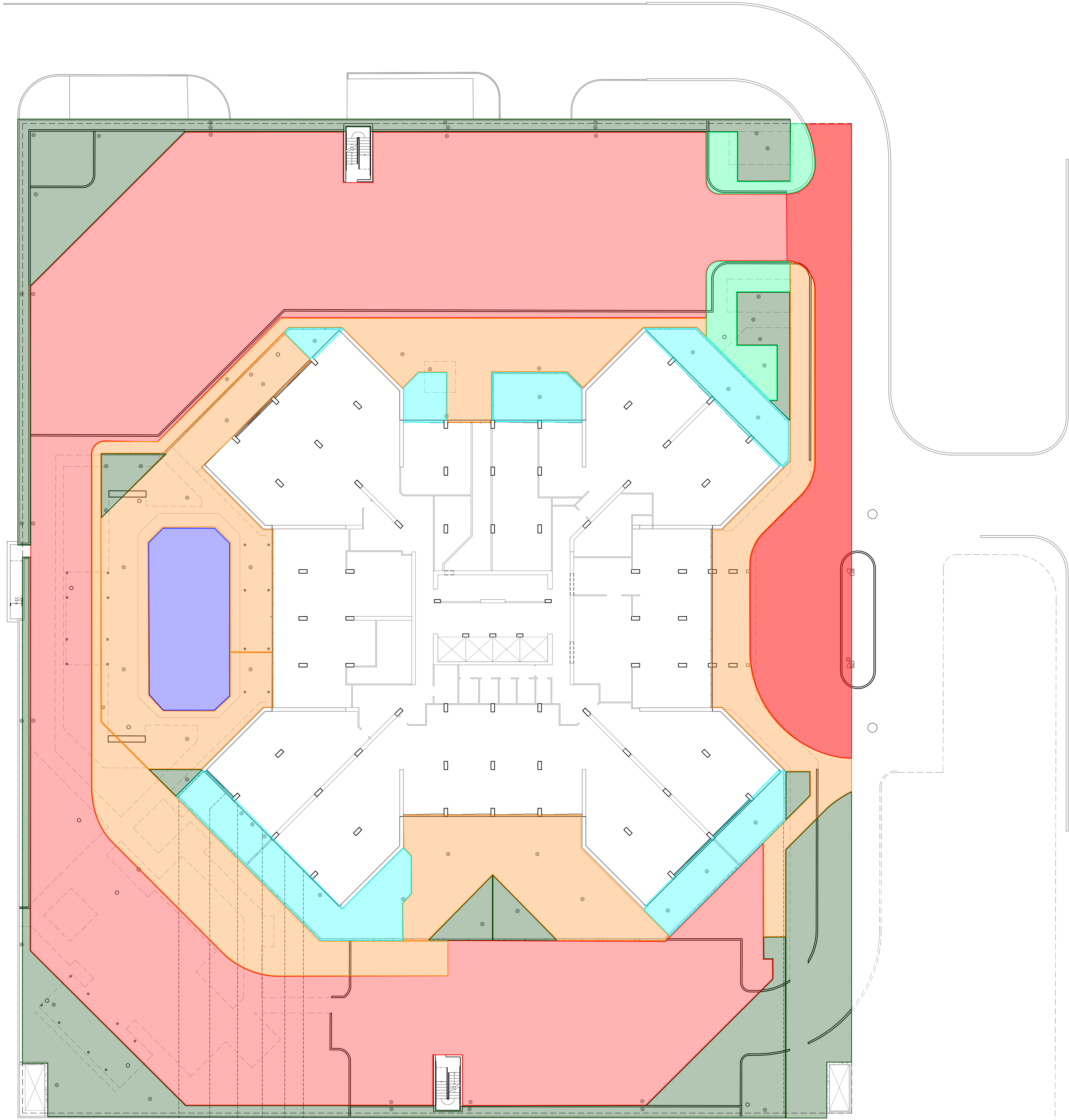
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1 EXISTING LOADING PLAN  
SCALE: 1/8" = 1'-0"

EXISTING LOAD LEGEND

- E1** EXISTING LOAD 1:  
PARKING WITH 120 TRUCK LOAD RATING  
DEAD LOAD: 50 PSF  
LIVE LOAD: 100 OR 40 PSF  
RAIN LOAD: 20.8 PSF
- E2** EXISTING LOAD 2:  
PARKING WITH 140 TRUCK LOAD RATING  
DEAD LOAD: 50 PSF  
LIVE LOAD: 140 OR 40 PSF  
RAIN LOAD: 20.8 PSF
- E3** EXISTING LOAD 3:  
SHALLOW PLANTER  
DEAD LOAD: 140 PSF  
LIVE LOAD: 40 PSF  
RAIN LOAD: 0 PSF
- E4** EXISTING LOAD 4:  
DEEP PLANTER  
DEAD LOAD: 238 PSF  
LIVE LOAD: 100 PSF  
RAIN LOAD: 0 PSF
- E5** EXISTING LOAD 5:  
ENCLOSED AMENITY BALCONY  
DEAD LOAD: 80 PSF  
LIVE LOAD: 100 PSF  
RAIN LOAD: 0 PSF
- E6** EXISTING LOAD 6:  
POOL  
DEAD LOAD: 125 PSF  
LIVE LOAD: 375 PSF  
RAIN LOAD: 0 PSF
- E7** EXISTING LOAD 7:  
PUBLIC AMENITY AND CORRIDORS  
DEAD LOAD: 80 PSF  
LIVE LOAD: 100 PSF  
RAIN LOAD: 20.8 PSF

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**Plaza Level Existing  
Loading Plan**

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Sheet No.

**R4.1**