

PARK PLACE ON PEACHTREE

2660 PEACHTREE ROAD NW  
ATLANTA, GA 30305

PORTE COCHERE  
CONSTRUCTION DOCUMENTS



PROJECT TEAM

**OWNER**  
PARK PLACE ON PEACHTREE

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**OWNER'S REPRESENTATIVE**  
VANDERMEER MANAGEMENT

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**ARCHITECT**  
SMITH DALIA ARCHITECTS

Contact: Brett Bowers  
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**CIVIL**  
BREEDLOVE LAND PLANNING

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**LANDSCAPE**  
HGOR

Contact: Todd Fuller  
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**STRUCTURAL**  
WISS, JANNEY, ELSTNER & ASSOCIATES

Contact: Robert Kuykendall  
voice: (770) 923-9822  
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**MEP**  
MBP ENGINEERS

Contact: Kevin Smith  
voice: (478) 745-1691  
email: ksmith@mbpengiineers.com

**WATERPROOFING**  
WISS, JANNEY, ELSTNER & ASSOCIATES

Contact: Eric Gross  
voice: (770) 923-9822  
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PROJECT SUMMARY

Park Place is a forty-story, concrete framed building that was constructed in the early 1980s. The building consists of condominium units on the upper forty floors and three levels of partially below-grade parking, with a plaza level topping the parking structure. The building is primarily clad with precast concrete panels and has aluminum-framed storefront systems installed at the entrance to the building. The porte cochere structure is connected to the storefront systems and is supported by the building to the west and four columns to the east, spanning over the elevated plaza. The structure of the porte cochere measures approximately 48 feet by 30 feet in plan dimensions. The existing porte cochere is clad with stucco on the columns, faces, and soffit, and has a low-slope roof assembly with interior drains.

This project scope consists of a new porte cochere to replace the original 1980s era construction, with the intent to utilize the existing below-grade structure as its support and maintain the same approximate footprint. The original slanted glass storefront will be removed and replaced with a new storefront system to match the recently renovated sliding glass entry. The sliding glass entry will be maintained to save costs. The new porte cochere construction consists of a steel moment frame with suspended metal composite panel.

Design and construction of the new porte cochere is to be generally concurrent with the site redevelopment and plaza deck waterproofing projects being performed by HGOR and WJE, respectively.

SHEET INDEX

Sheet Number	Sheet Name	Issue Date	Current Revision
ARCHITECTURAL			
A000	COVER / SITE PLAN	10/31/23	3
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PROJECT DATA / CODE

Parcel ID: 17 01120014C01  
Zoning Classification: RG-4-C  
Zoning Overlay: Buckhead Parking Overlay  
Land Use: High-Density Residential (HDR)  
Building: Park Place on Peachtree  
Affected Floor: Level 4 (Plaza Level)  
Area: Porte Cochere (Exterior)  
Existing Partial Floor Area: 1475 SF  
New Partial Floor Area: 1385 SF

Occupancy Classification: R-2 Residential  
Construction Type: Type 1B (Existing)  
Alteration Level: Level 1  
Fire Separation Distance: 139' (to Peachtree Rd. NE)

Fire Resistance Requirements:  
Exterior Non-Bearing: 0 HR  
Interior Non-Bearing: 0 HR  
Roof Construction: 1 HR

\* CODE DATA PER PREVIOUS PERMIT DOCUMENTS

STATE OF GEORGIA APPLICABLE CODES (2023):

Georgia State Minimum Building Code  
IBC 2018 International Building Code with Georgia State Amendments, 2020, 2022  
IFC 2018 International Existing Building Code with Georgia State Amendments, January 2021  
IMC 2018 International Fire Code with 2020 Georgia State Fire Commissioner Amendments 120-3-3-.04  
IPC 2018 International Mechanical Code with GA Amendments 2020  
NEC 2020 National Electrical Code with GA Amendments 2021  
IECC 2015 International Energy Conservation Code w/ Georgia State Supplements and Amendments 2020, 2022, 2023

NFPA (101) 2018 Life Safety Code with 2020 Georgia State Fire Commissioner Amendments 120-3-3-.04(72)

REFERENCE STANDARDS

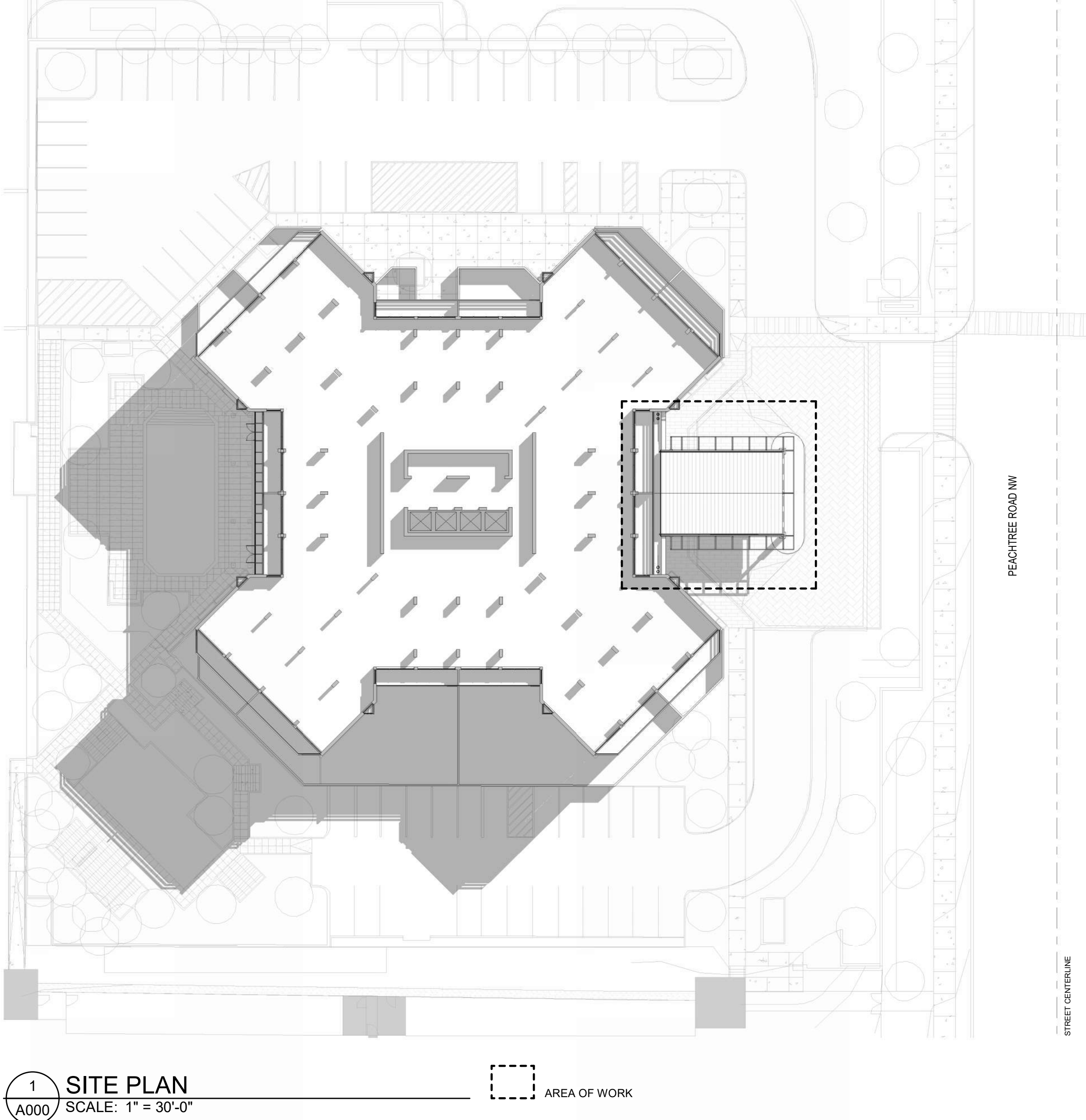
Americans with Disabilities Act (ADA) - 2010 ADA Standards for Accessible Design (ADAAG)

SYMBOLS LEGEND

VIEW TITLE TAG	BUILDING ELEVATION
<div>1 A000 VIEW NAME SCALE: 1/8" = 1'-0"</div>	<div>A000</div>
ROOM TAG	INTERIOR ELEVATION
<div>ROOM NAME 101</div>	<div>1 A000</div>
FINISH ELEVATION TAG	BUILDING SECTION TAG
<div>LEVEL XXX'-X"</div>	<div>1 A000</div>
STRUCTURAL GRID LINE	WALL SECTION TAG
<div>0</div>	<div>1 A000</div>
DOOR TAG	SECTION DETAIL TAG
<div>101</div>	<div>1 A000</div>
PARTITION TYPE TAG	DETAIL TAG
<div>XXX</div>	<div>1 A101</div>
CEILING HEIGHT TAG	
<div>1'-0" AFF.</div>	

ENERGY CODE SUMMARY

Climate Zone: 3		
Item:	Required:	Provided:
Roofs:	R-25ci	R-25ci
Walls:		
Above Grade:	R-13 + R 7.5ci	R-19 + R 7.5ci
Below Grade:	NR	N/A
Floors:		
Elevated:	R-30	N/A
Slab-on-grade:	NR	N/A
Doors:		
Opaque:	U-0.61	N/A
Entrance:	U-0.77	N/A
Fixed Fenestration:	U-0.46	U-0.46
SHGC:	0.25	0.25



SDA  
SMITH DALIA  
ARCHITECTS

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CONSULTANT:

PROJECT NO:  
22020  
Park Place

PROJECT TITLE:

PARK PLACE ON PEACHTREE  
PORTE COCHERE  
2660 Peachtree Road NW, Atlanta, GA 30305

PLOT DATE:  
4/22/2024 10:50:59 AM

ISSUE AND DATE:  
Construction Documents  
OCTOBER 31, 2023

REVISIONS:  
1 12/15/23 ADDENDUM 1  
2 02/18/24 PERMIT REVISION  
3 04/18/24 ASI #01

KEY PLAN:

SEAL:  
STATE OF GEORGIA  
REGISTERED ARCHITECT  
Brett Bowers

SHEET TITLE:  
COVER / SITE PLAN

N  
PROJECT  
NORTH

N  
TRUE  
NORTH

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SHEET NO:  
A000

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GENERAL NOTES

1. SCOPE OF THESE DRAWINGS IS INTENDED FOR BUILDING EXTERIOR ALTERATIONS ONLY AND HAVE NO IMPACT ON THE ORIGINALLY PERMITTED BUILDING WITH RESPECT TO LIFE SAFETY, BUILDING CONSTRUCTION TYPE, OCCUPANCY, ALLOWABLE HEIGHT AND AREA, ETC. SEE PROJECT DATA / CODE TABLE ON COVER SHEET FOR EXISTING BUILDING CODE INFORMATION.
2. ALL DRAWINGS AND DIMENSIONS ARE BASED ON AUGUST 20TH, 1987 AS-BUILT DRAWINGS. REFER TO AS-BUILT DRAWINGS FOR BASE BUILDING ARCHITECTURAL COMPONENTS.
3. CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN-FIELD AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
4. ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH ALL APPLICABLE BUILDING CODES AND LOCAL ORDINANCES.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING AND PAYING FOR ALL REQUIRED PERMITS, INSPECTIONS, FEES, ETC.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE BUILDING OR ANY OTHER PROPERTY WHICH MAY OCCUR DURING CONSTRUCTION.
7. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY INCONSISTENCIES OR DISCREPANCIES DISCOVERED BETWEEN ACTUAL SITE CONDITIONS AND THOSE INDICATED ON THE DRAWINGS THAT WOULD AFFECT THE QUALITY OF THE WORK.
8. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS INDICATED ON THE DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
9. IN THE EVENT OF A CONFLICT OR OMISSION BETWEEN THE ARCHITECT'S OR ENGINEER'S DRAWINGS AND THE ACCESSIBILITY STANDARDS REQUIREMENTS, THE LATEST ADOPTED EDITIONS OF THE PUBLISHED ADA STANDARDS WILL TAKE PRIORITY.
10. WHERE NEW PARTITIONS ARE BUILT TO ALIGN WITH ONE SIDE OF A WALL, STUD SHALL ALIGN SO THE GYPSUM BOARD WILL BE CONTINUOUS ACROSS STUDS AND/OR FACE OF FURRING CHANNELS. PARTITIONS NOTED TO ALIGN SHALL BE ALIGNED FROM FINISH FACES AND THE JUNCTIONS SHALL BE FLUSH AND SMOOTH.
11. ALL FASTENING AND ATTACHMENT SHALL BE FULLY CONCEALED FROM VIEW, UNLESS NOTED OTHERWISE (U.N.O.).
12. CONTRACTOR SHALL PROVIDE AND LOCATE BLOCKING IN PARTITIONS WHERE REQUIRED TO SUPPORT HUNG COMPONENTS AS INDICATED IN DRAWINGS.
13. INSULATION MATERIALS SHALL COMPLY WITH IRC 719.3 AND 2603.3, AND IEBC TABLE C402.1.2. INSULATING MATERIALS SHALL HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE-DEVELOPED INDEX OF NOT MORE THAN 450.
14. BASE BUILDING SPECIFICATIONS SHALL APPLY AS A MINIMUM STANDARD. WHERE NOTED OTHERWISE, PROVIDE UPGRADED SPECIFICATIONS.
15. EXISTING MECHANICAL, PLUMBING, ELECTRICAL, AND FIRE PROTECTION COMPONENTS WILL NEED TO BE COORDINATED WITH ALTERATION WORK. CONTRACTOR TO ENSURE THERE ARE NO CONFLICTS. MINOR ADJUSTMENTS MAY BE REQUIRED.
16. PROVIDE SPRING SUSPENDED GYPSUM BOARD WITH TWO LAYERS GYPSUM BOARD AND SOUND ATTENUATION BATTS AT INTERIOR CEILING TO MATCH EXISTING.
17. PROVIDE SEALANT AT TOP, BOTTOM, AND PERIMETER OF ALL WALLS.
18. SEAL ALL PENETRATIONS FOR SOUND AND FIRE.
19. GALVANIZE AND PAINT ALL EXPOSED STEEL MEMBERS.
20. ALL PERMANENTLY EXPOSED STRUCTURAL STEEL TO BE AESS LEVEL 1.
21. CONTRACTOR TO PROVIDE FINISH SAMPLES OF ALL SPECIFIED MATERIALS FOR REVIEW AND APPROVAL BY OWNER AND ARCHITECT. PROVIDE SUBMITTALS AND SHOP DRAWINGS PER SPECIFICATIONS.



MEMORANDUM

To: Bert van der Meer  
Vandermeer Management, LLC  
via email

Project: Park Place  
SDA Project No: 22020  
Date: 12/20/2023

From: Brett Bowers  
SDA

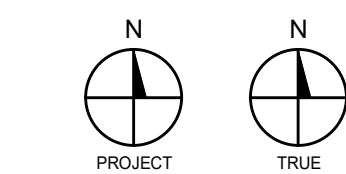
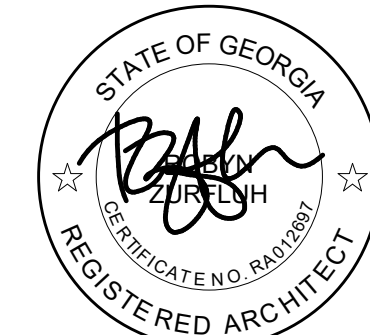
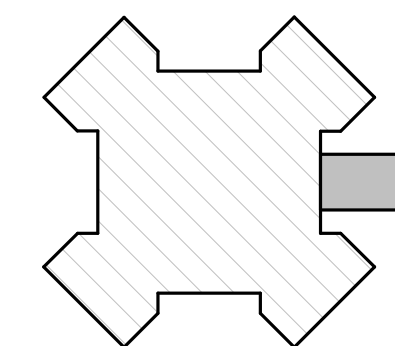
Subject: Revision Narrative – Addendum #1

The following is a general summary of the Architectural revisions between Construction Document issuance dated 10/31/2023 and Addendum #1 dated 12/15/2023 for Park Place on Peachtree. See revised A-series sheets for all changes; only revisions that include scope changes have been clouded.

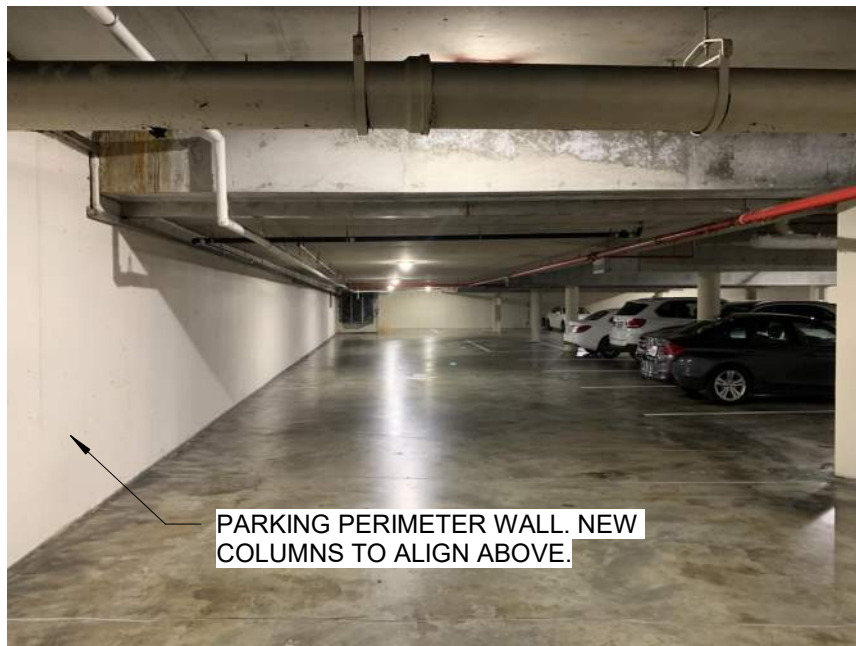
Porte Cochere Updates:

- A000** - Updated Sheet Index revision number.
- A020** - Updated note for columns 4/A.01 & 6/A.01 per structural coordination comments.
- A200** - Added security camera locations per security coordination.  
- Note to provide AESS at all permanently exposed structural steel added per structural coordination comments and RFP RFI responses.
- A300** - Added security camera locations per security coordination.
- A500** - Steel decking graphic revised per structural coordination comments.
- A501** - Note to provide AESS at all permanently exposed structural steel added per structural coordination comments and RFP RFI responses.
- A502** - Updated note for columns 4/A.01 & 6/A.01 per structural coordination comments.
- General** - Spelling and note legibility corrections.

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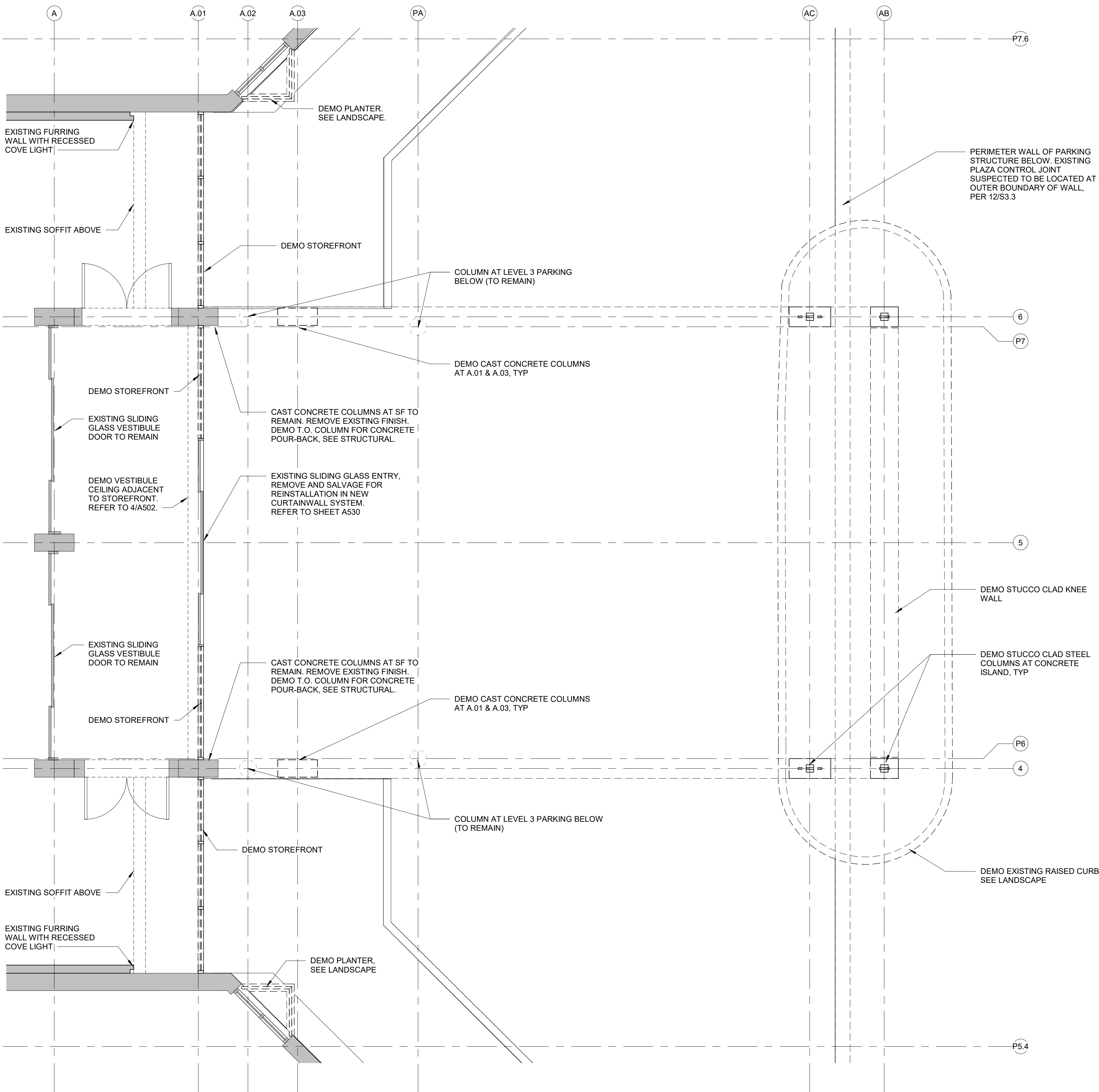
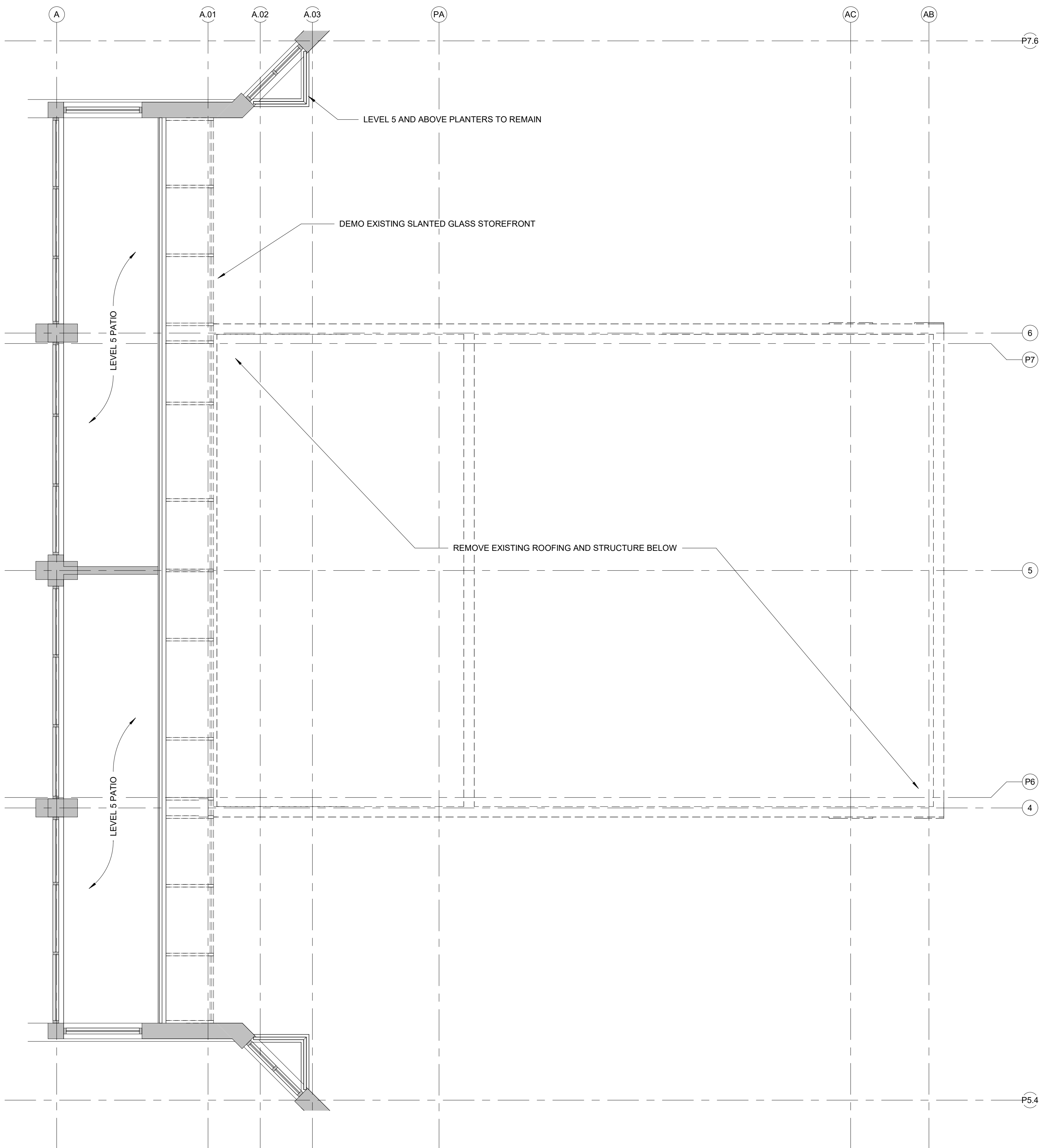


### DEMO GENERAL NOTES

1. REFER TO 02/27/23 WJE PORTE COCHERE STRUCTURAL ASSESSMENT REGARDING EXISTING STRUCTURE.
2. DEMOLITION INDICATED ON DRAWINGS IS INTENDED TO SHOW LOCATIONS AND GENERAL SCOPE OF DEMOLITION. THE FULL EXTENT OF DEMOLITION REQUIRED TO ACCOMMODATE NEW CONSTRUCTION AND SPECIFIED FINISHES MUST BE DETERMINED BY THE CONTRACTOR BASED ON THE FULL CONTRACT DOCUMENTS AND THE SITE CONDITIONS. CONTACT THE ARCHITECT WITH ANY QUESTIONS REGARDING THE REQUIRED DEMOLITION SCOPE.
3. CONTRACTOR IS RESPONSIBLE FOR SITE CONDITIONS. BY SUBMITTING A BID FOR THIS WORK THE CONTRACTOR AGREES THAT HE HAS PERFORMED A THOROUGH FIELD INVESTIGATION AND HAS NO QUESTIONS REGARDING SITE CONDITIONS THAT WILL EFFECT THE COST OF DEMOLITION.
4. ANY DISCREPANCIES BETWEEN ENCOUNTERED FIELD CONDITIONS AND THESE DRAWINGS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT.
5. IF SUSPECTED HAZARDOUS MATERIALS ARE ENCOUNTERED, NOTIFY OWNER AND ARCHITECT IMMEDIATELY. AVOID DISTURBING SUSPECT MATERIALS UNTIL THE COMPOSITION OF SUCH MATERIALS CAN BE CONFIRMED BY AN APPROVED TESTING AGENCY.
6. ITEMS INDICATED TO BE DEMOLISHED SHALL BE DISPOSED OF OFF-SITE IN A LEGAL MANNER. ITEMS INDICATED TO BE SALVAGED SHALL BE DELIVERED TO THE OWNER IN AN AGREED UPON LOCATION UNDAMAGED AND PROTECTED IN AN APPROPRIATE MANNER.
7. PROTECT EXISTING WORK INDICATED TO REMAIN. CONTRACTOR WILL BE RESPONSIBLE FOR REPLACEMENT OF DAMAGED WORK SCHEDULED TO REMAIN.
8. COMPLY WITH NFPA 241, STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION AND DEMOLITION OPERATIONS, CURRENT EDITION, AND WITH ALL OTHER APPLICABLE LOCAL CODES AND ORDINANCES REGARDING DEMOLITION ACTIVITIES.
9. INSTALL DUST BARRIERS, CONSTRUCTION FENCING, BARRICADES, ETC. TO KEEP NON-CONSTRUCTION PERSONNEL PROTECTED FROM CONSTRUCTION ACTIVITIES. WHEN APPROPRIATE, TAKE MEASURES TO KEEP DUSTS FROM MIGRATING OUT OF THE IMMEDIATE CONSTRUCTION AREA. CONTRACTOR IS RESPONSIBLE FOR LOCATING EXISTING UTILITY LINES. IN THE EVENT OF A CONFLICT WITH DEMOLITION WORK, NOTIFY ARCHITECT IMMEDIATELY.
10. CONTRACTOR IS RESPONSIBLE FOR LOCATING EXISTING UTILITY LINES. IN THE EVENT OF A CONFLICT WITH DEMOLITION WORK, NOTIFY ARCHITECT IMMEDIATELY.
11. CONTRACTOR TO CONFIRM EXTENT OF PARKING PERIMETER WALL BELOW EXISTING PLAZA. POST-TENSIONED CONCRETE DRIVE MUST BE SCANNED PRIOR TO EXPLORATORY DEMOLITION.
12. ITEMS INDICATED TO REMAIN SHALL BE PROTECTED IN APPROPRIATE MANNER.
13. REFER TO SHEET A502 REGARDING SLIDING GLASS ENTRY TO REMAIN.
14. EXTERIOR FINISH MATERIALS ON EXISTING COLUMNS TO REMAIN ARE TO BE REMOVED.
15. COORDINATE REMOVAL OF ALL UNUSED CONDUIT AND JUNCTION BOXES AT EXTERIOR.
16. CONTACT ARCHITECT IF THERE IS A QUESTION REGARDING MATERIALS TO BE REMOVED.

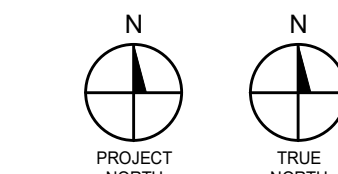
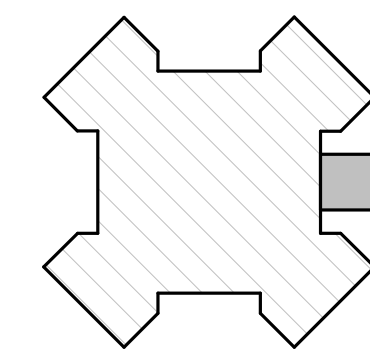
	EXISTING TO REMAIN
	EXISTING TO BE DEMOLISHED

### EXISTING CONDITIONS

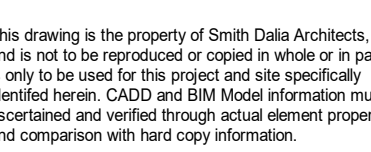
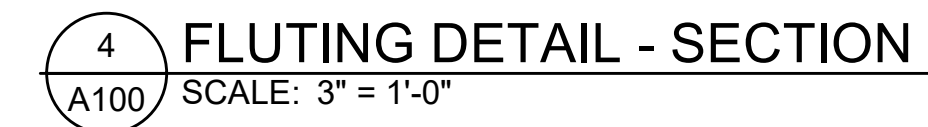
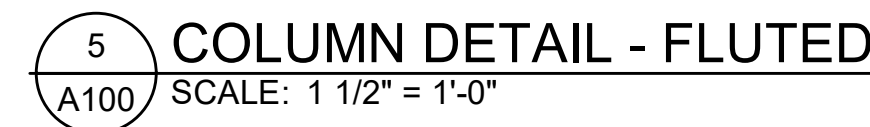


2 DEMOLITION ROOF PLAN  
A020 SCALE: 1/4" = 1'-0"

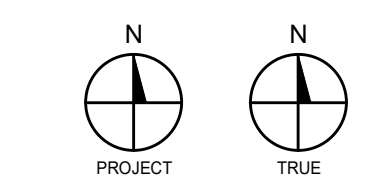
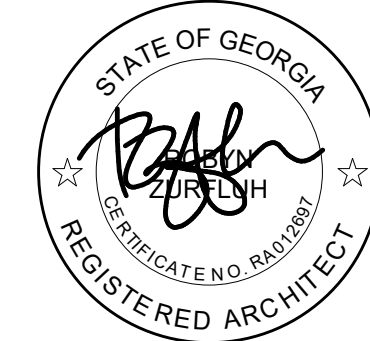
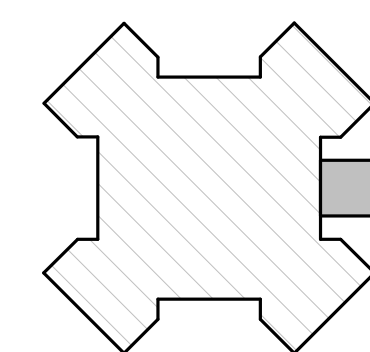
1 DEMOLITION PLAN  
A020 SCALE: 1/4" = 1'-0"
















## CEILING LEGEND

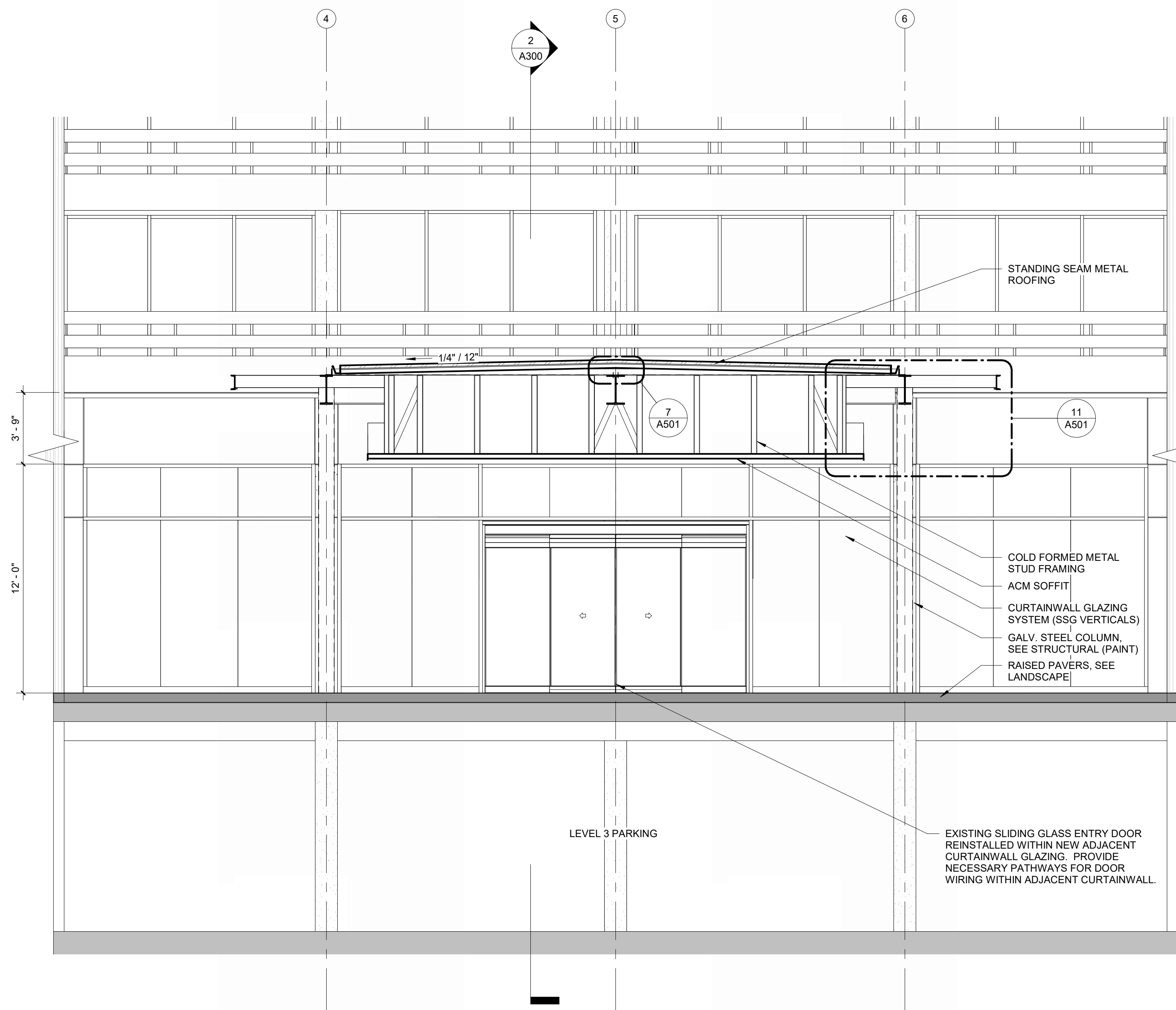
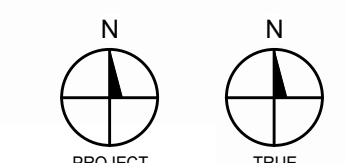
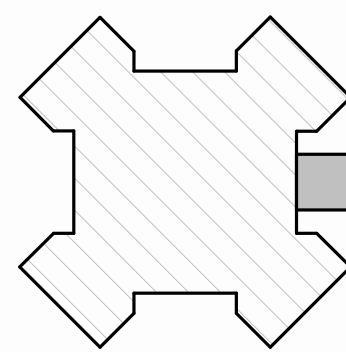
	EXISTING RECESSED DOWNLIGHT		GYP SUM BOARD - EXISTING
	EXISTING DIFFUSER		GYP SUM BOARD - NEW
	CAMERA LOCATION, BY OTHERS		ACM PANEL
	ACCESS PANEL, COORDINATE LOCATION WITH MECH. DEVICE		FACE FASTENED ACM
	CENTERLINE		
	ACM FASCIA PANEL ABOVE		

NOTE:  
1. REFER TO LIGHTING SCHEDULE FOR NEW FIXTURE LEGEND.  
2. PROVIDE AESS AT ALL PERMANENTLY EXPOSED STRUCTURAL STEEL.

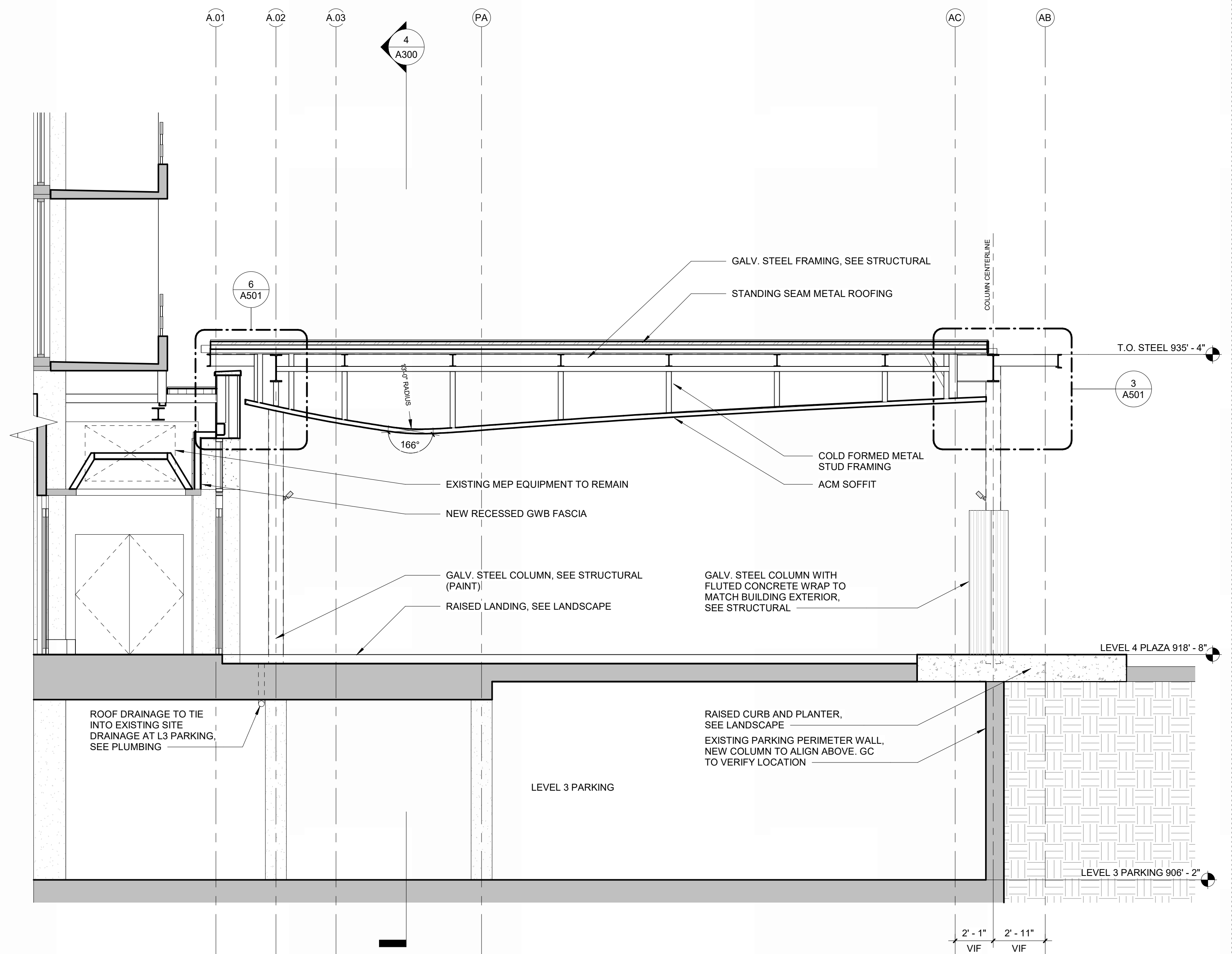
## LIGHTING SCHEDULE

TAG	SYMBOL	DESCRIPTION	MANUF.	MODEL	NOTES
L-6		IN-GRADE UPLIGHT	-	-	SEE LANDSCAPE
L-7					
L-8		LINEAR ACCENT LIGHTING	LUMINII	KENDO XL WET STATIC WHITE	HOUSING FINISH TO MATCH STEEL
L-9		BENDABLE LINEAR ACCENT LIGHTING	LUMINII	KURBA MAX HORIZONTAL	
L-10		CANOPY UPLIGHT	ECOSENSE	RISE F080	MOUNTED AT STEEL COLUMNS
L-11		LINEAR COVE LIGHT	JO LED	COVSELECT	COLOR TEMP TO MATCH EX'G INTERIOR

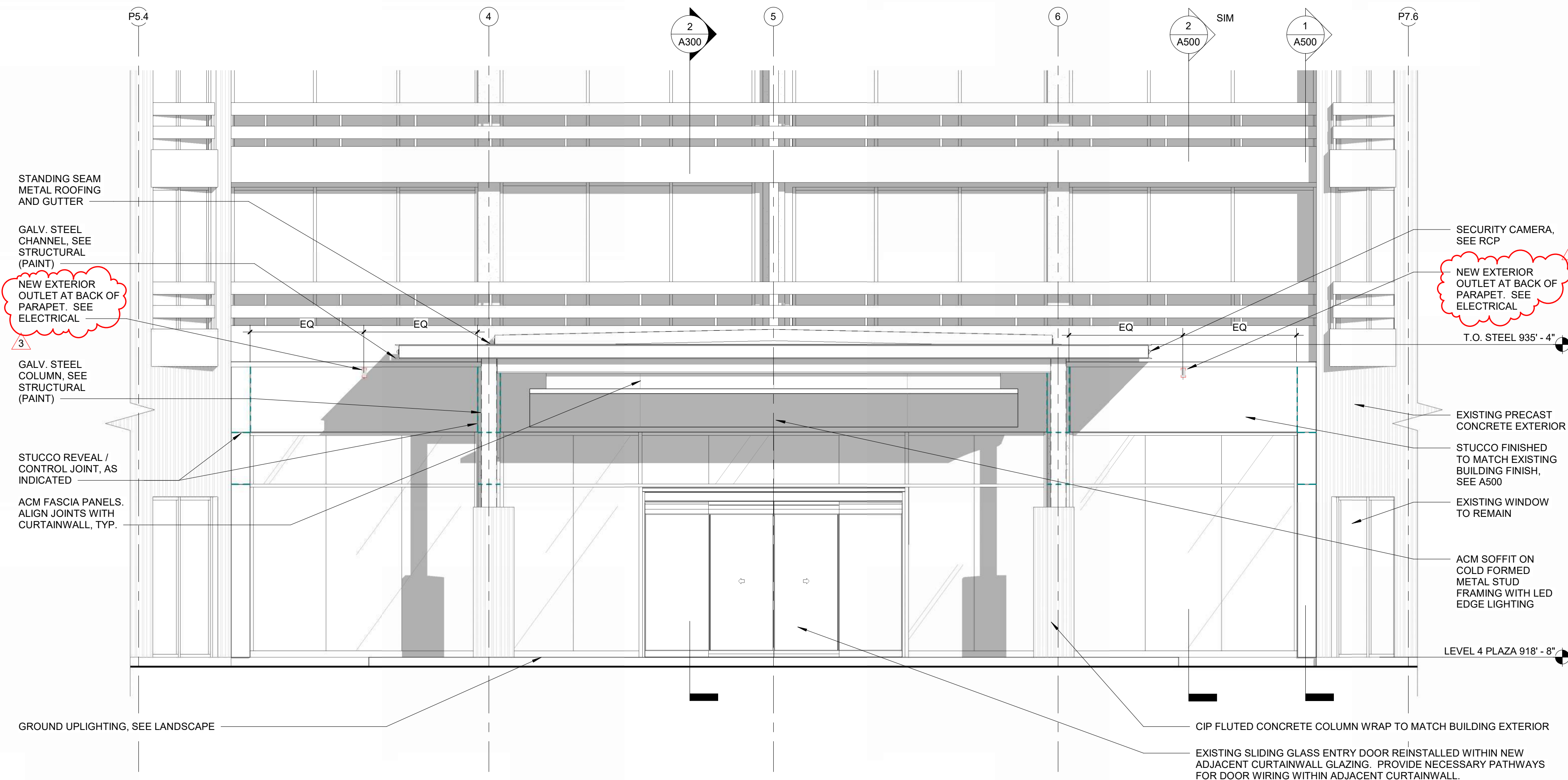




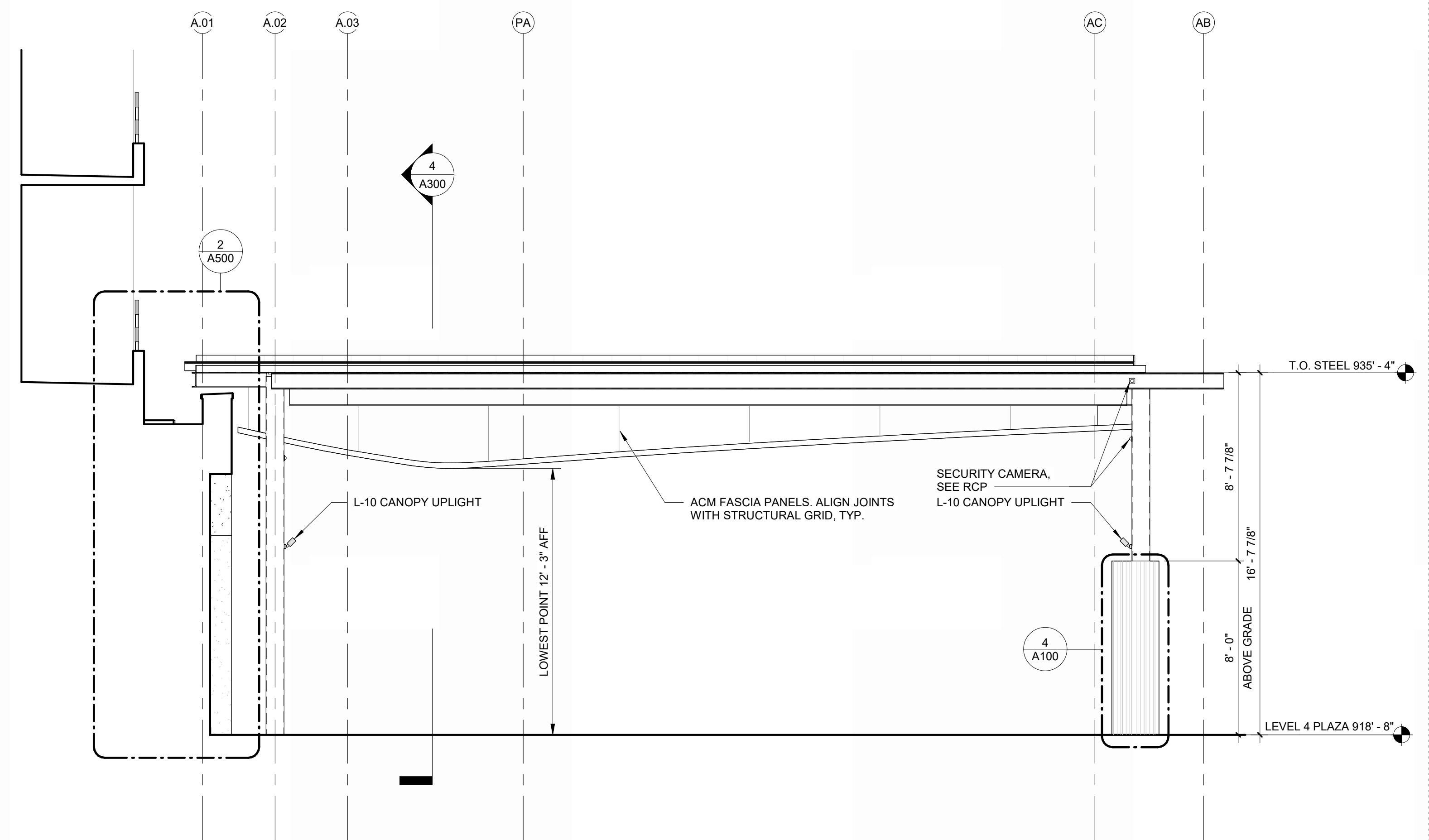
**4 SECTION - FRONT**  
SCALE: 1/4" = 1'-0"



**2 SECTION - SIDE**  
SCALE: 1/4" = 1'-0"

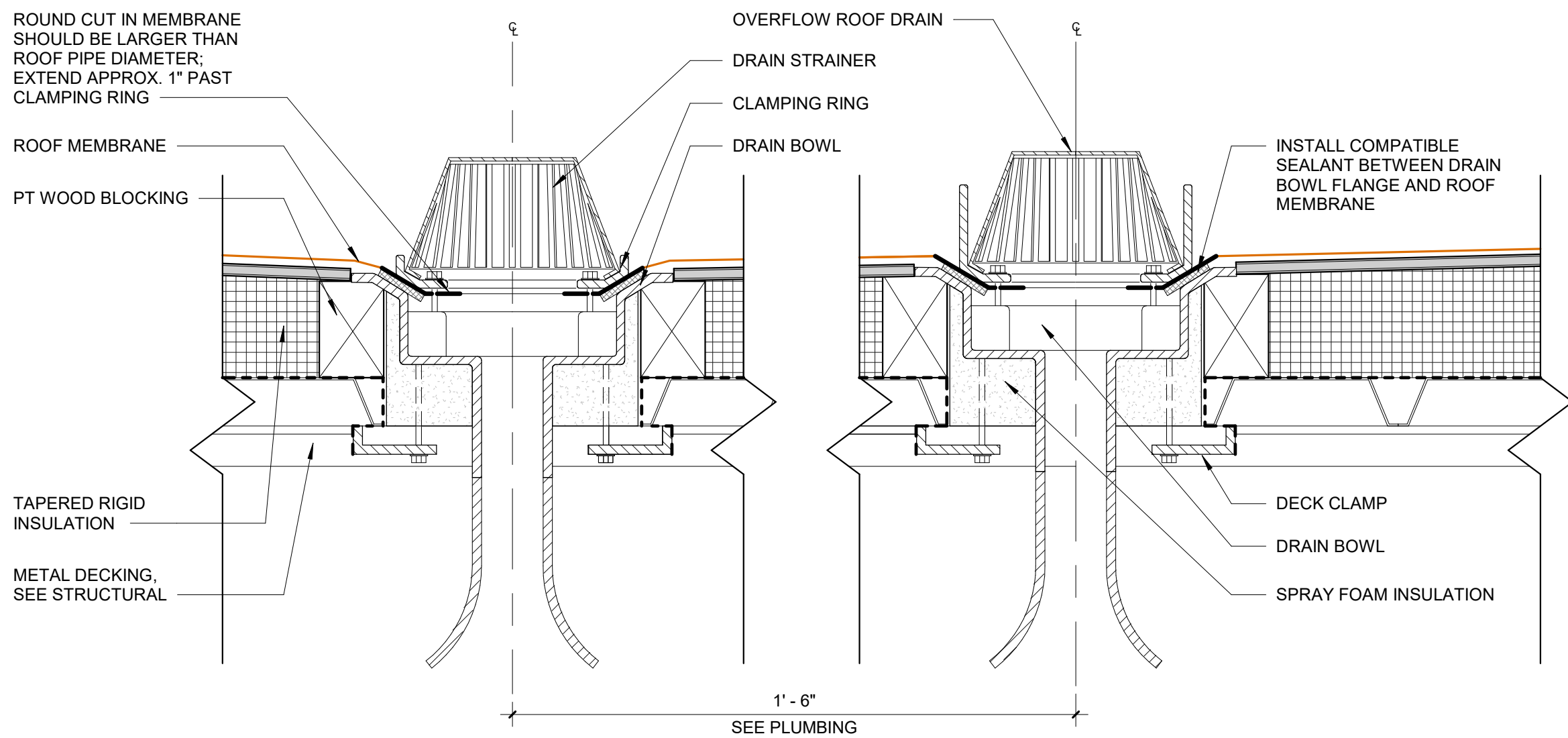
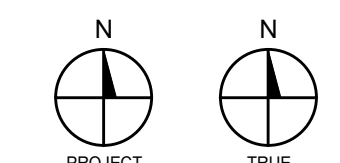
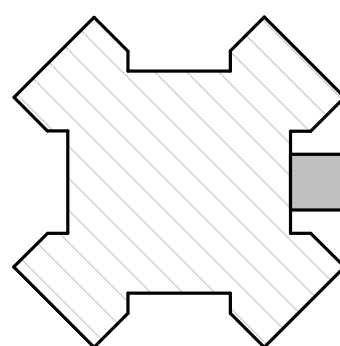


**3 ELEVATION - FRONT**  
SCALE: 1/4" = 1'-0"

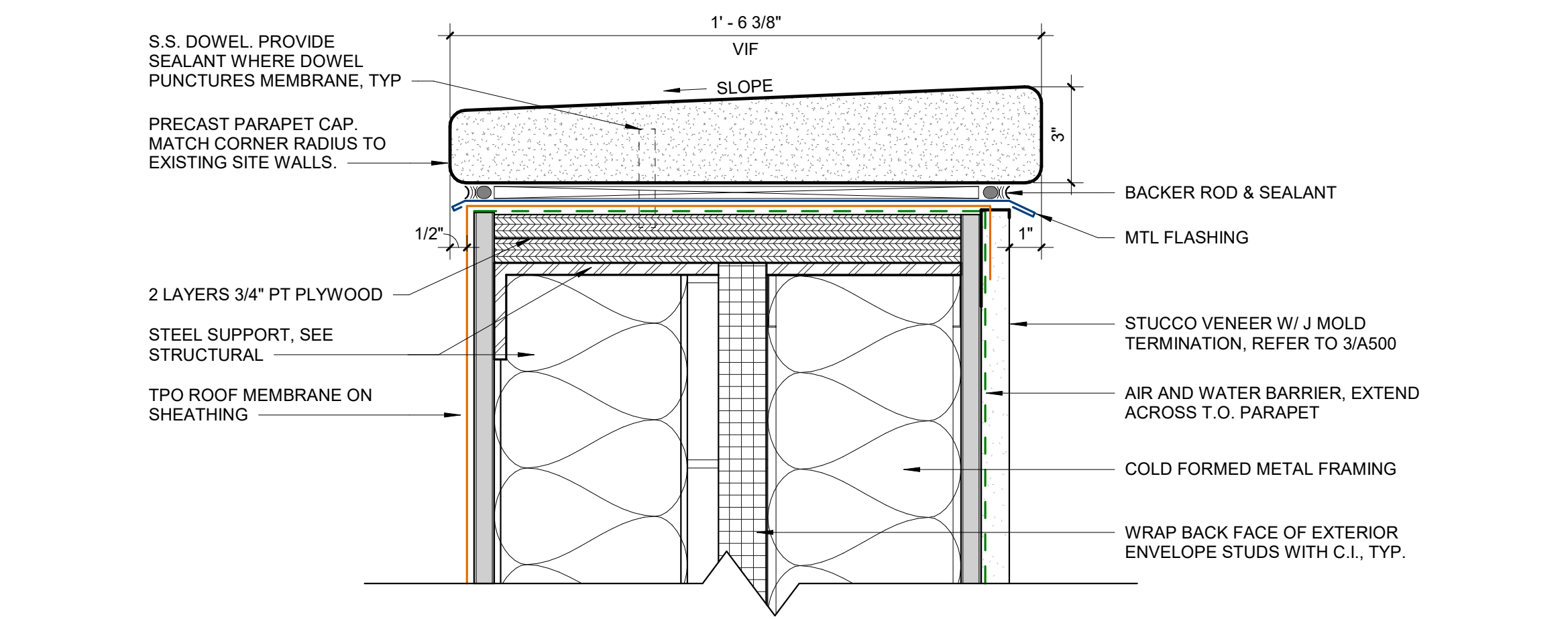


**1 ELEVATION - SIDE**  
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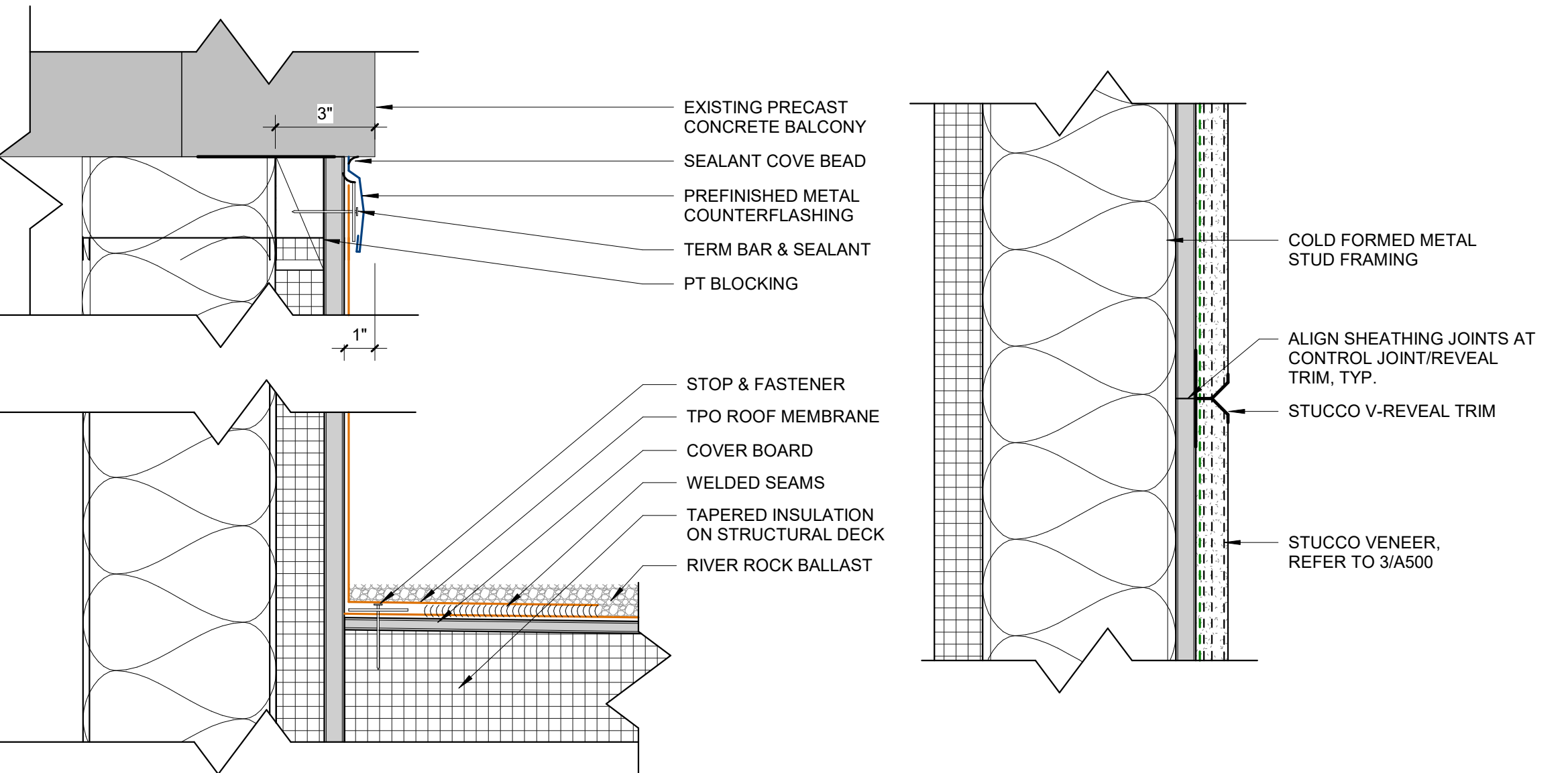




**8 ROOF DETAIL - DRAINS**  
SCALE: 3" = 1'-0"

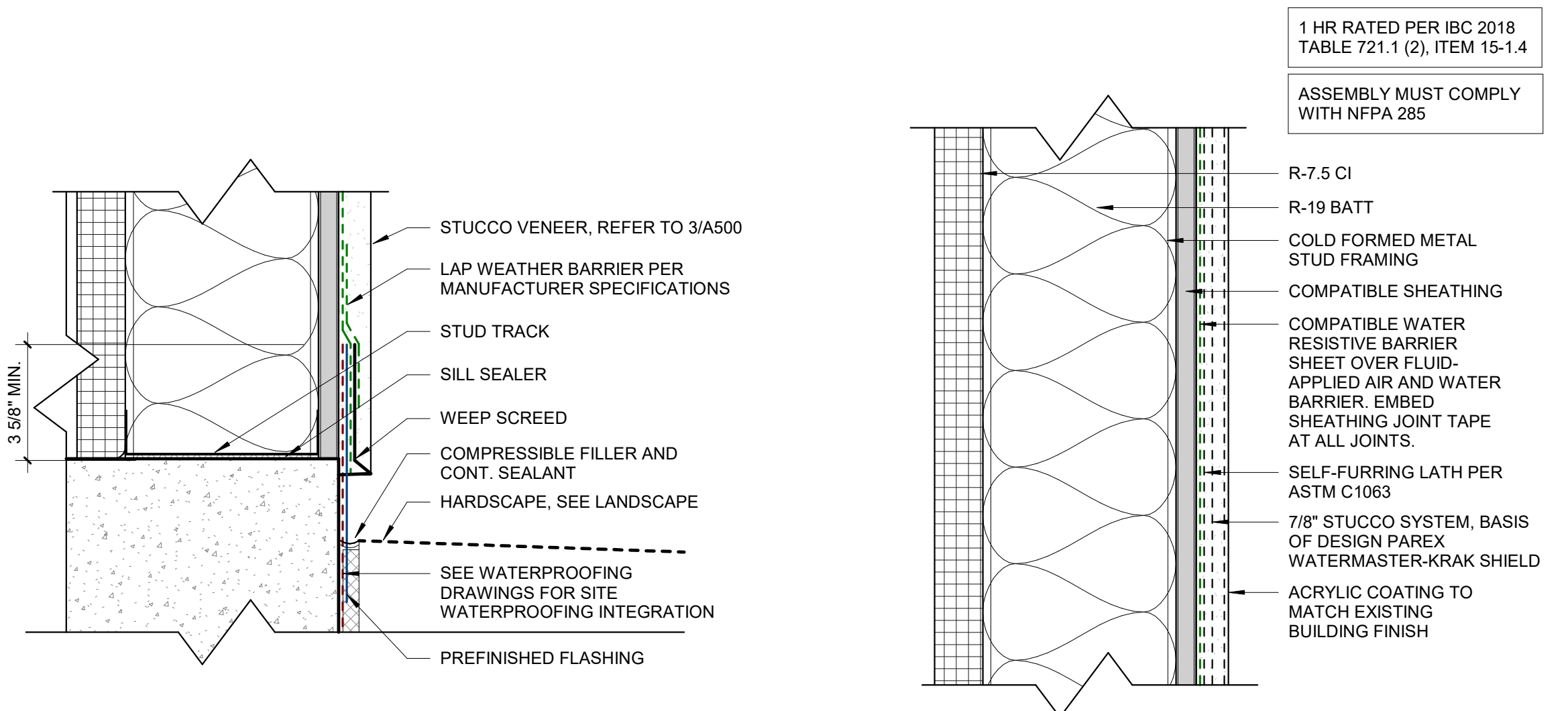


**7 ROOF DETAIL - PARAPET CAP**  
SCALE: 3" = 1'-0"



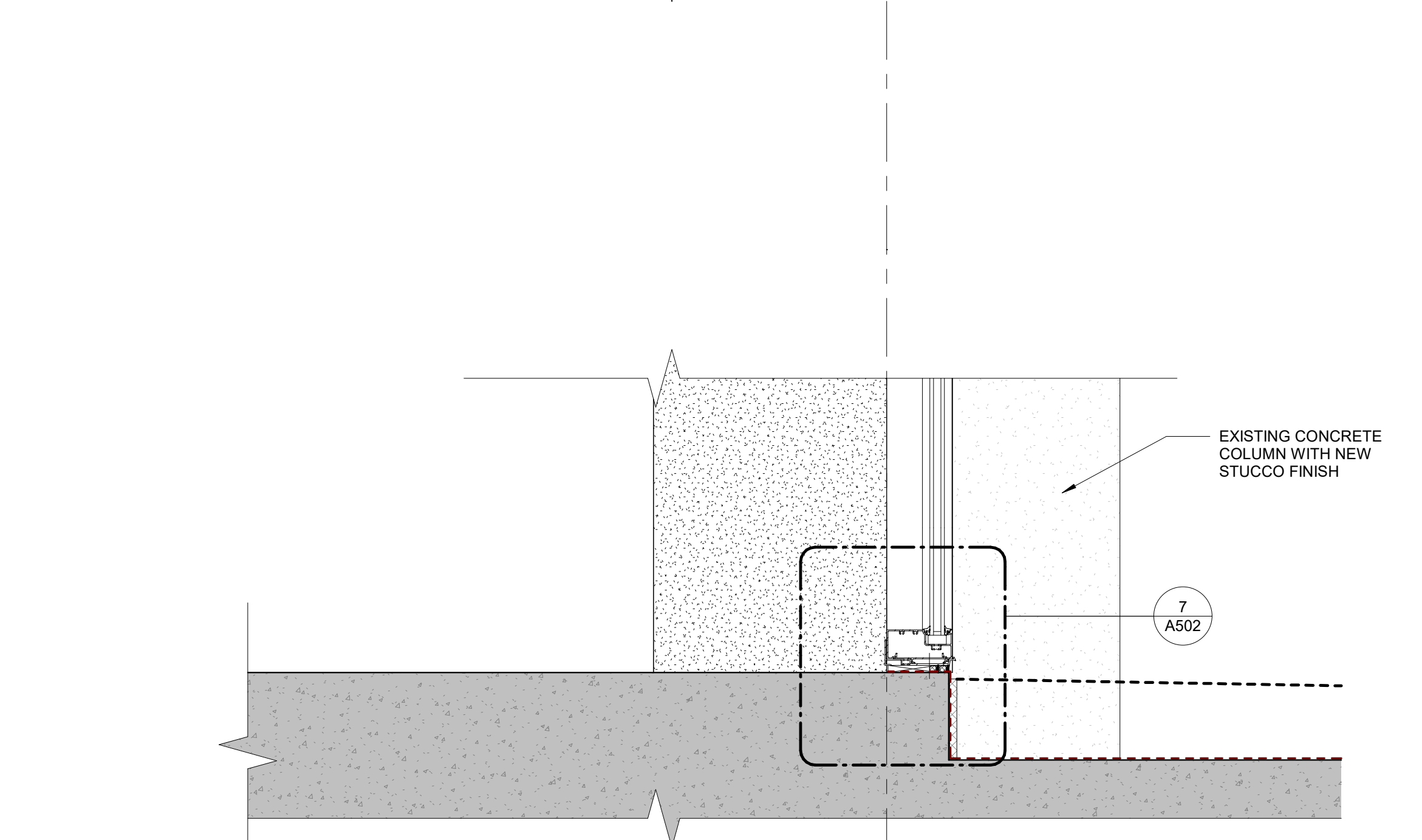
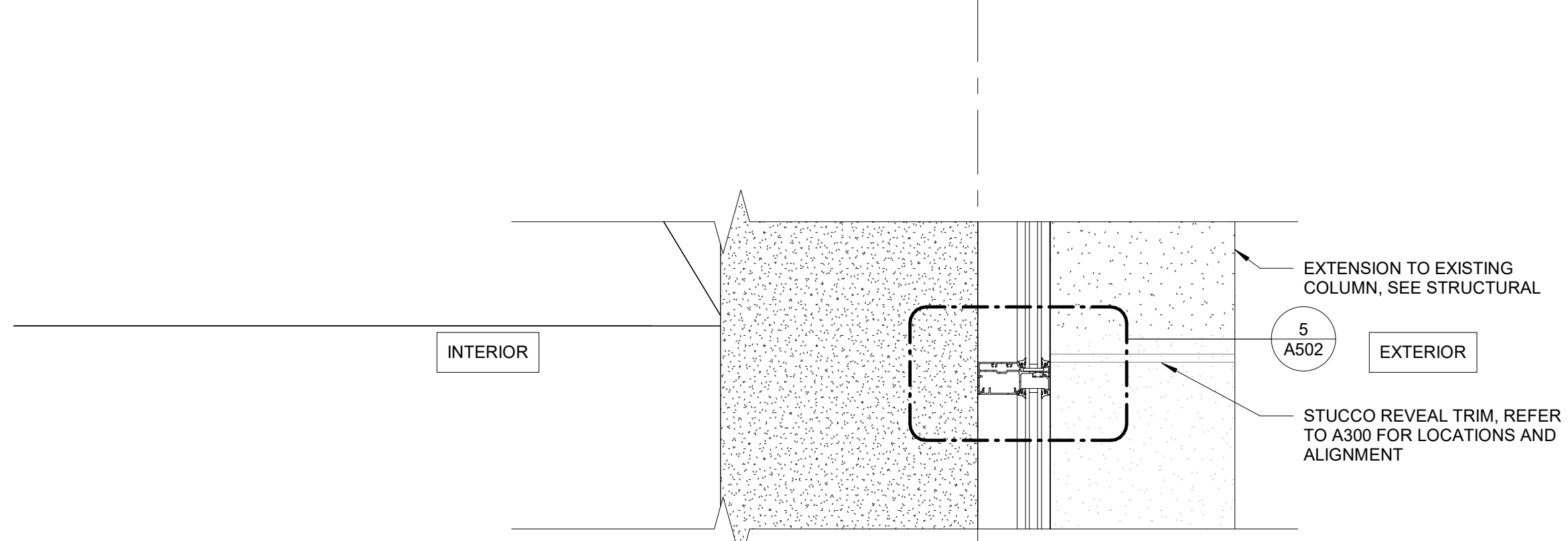
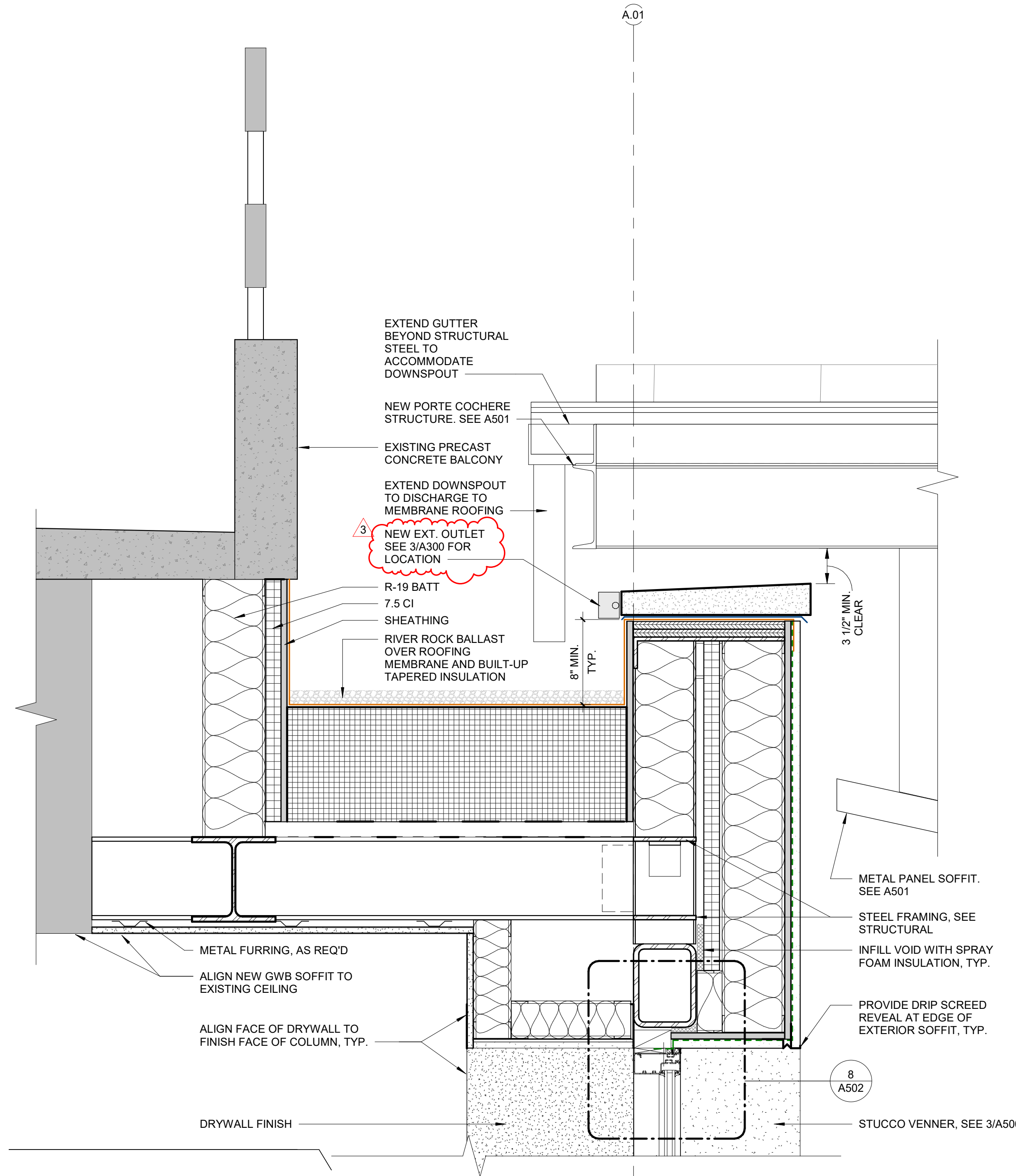
**6 ROOF DETAIL - PARAPET TERMINATIONS**  
SCALE: 3" = 1'-0"

**5 STUCCO REVEAL DETAIL**  
SCALE: 3" = 1'-0"

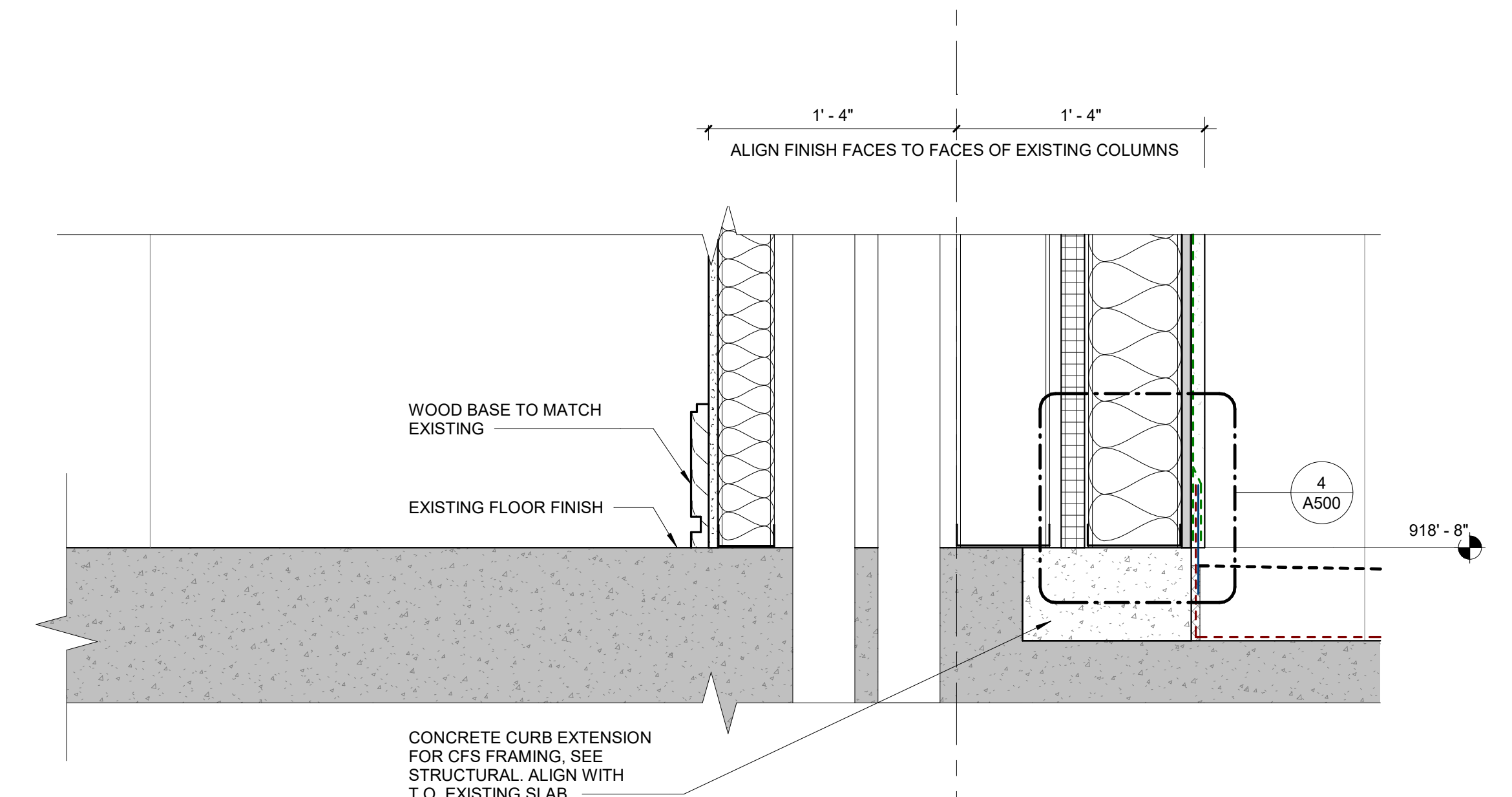
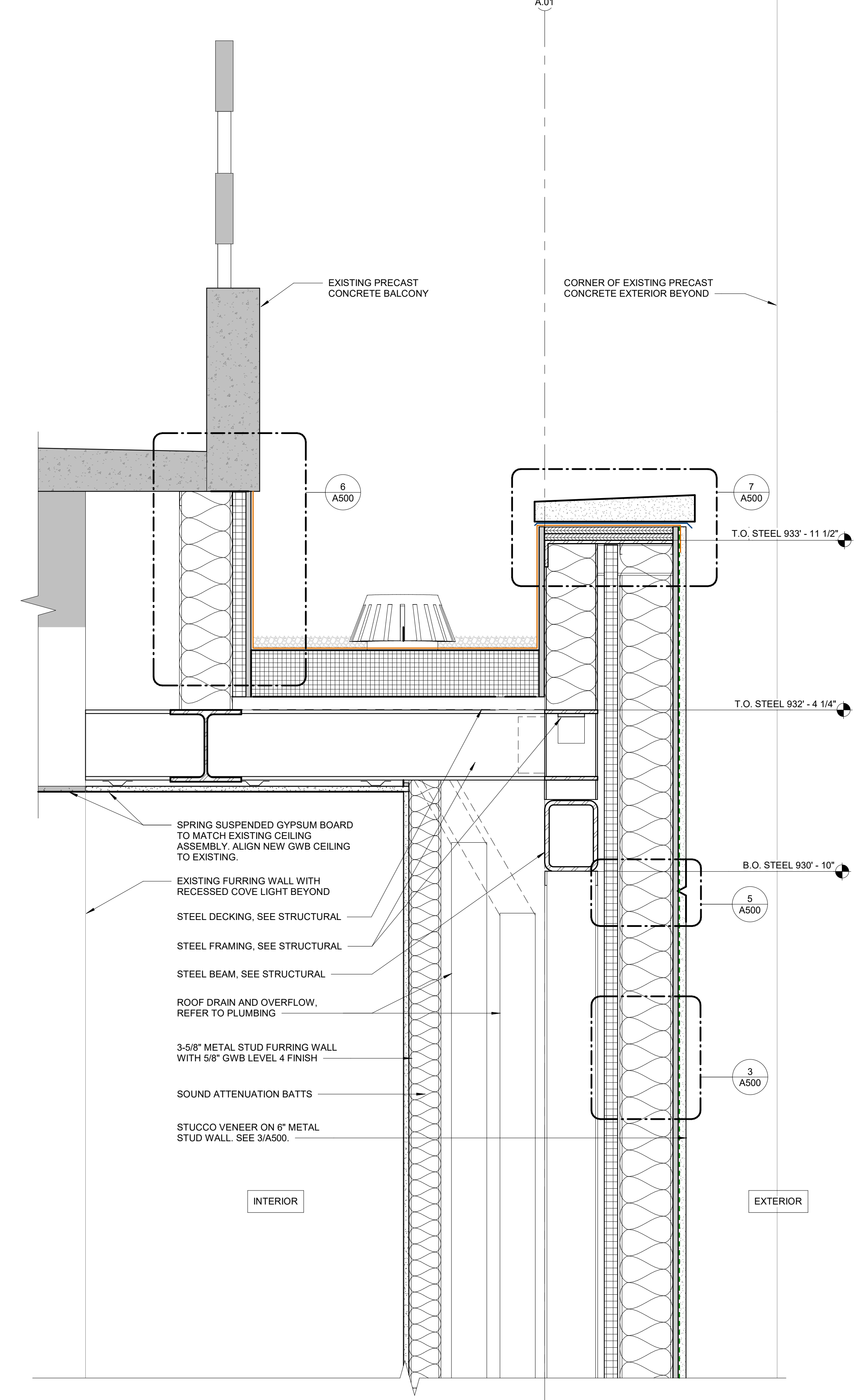


**4 STUCCO BASE DETAIL**  
SCALE: 3" = 1'-0"

**3 STUCCO DETAIL**  
SCALE: 3" = 1'-0"

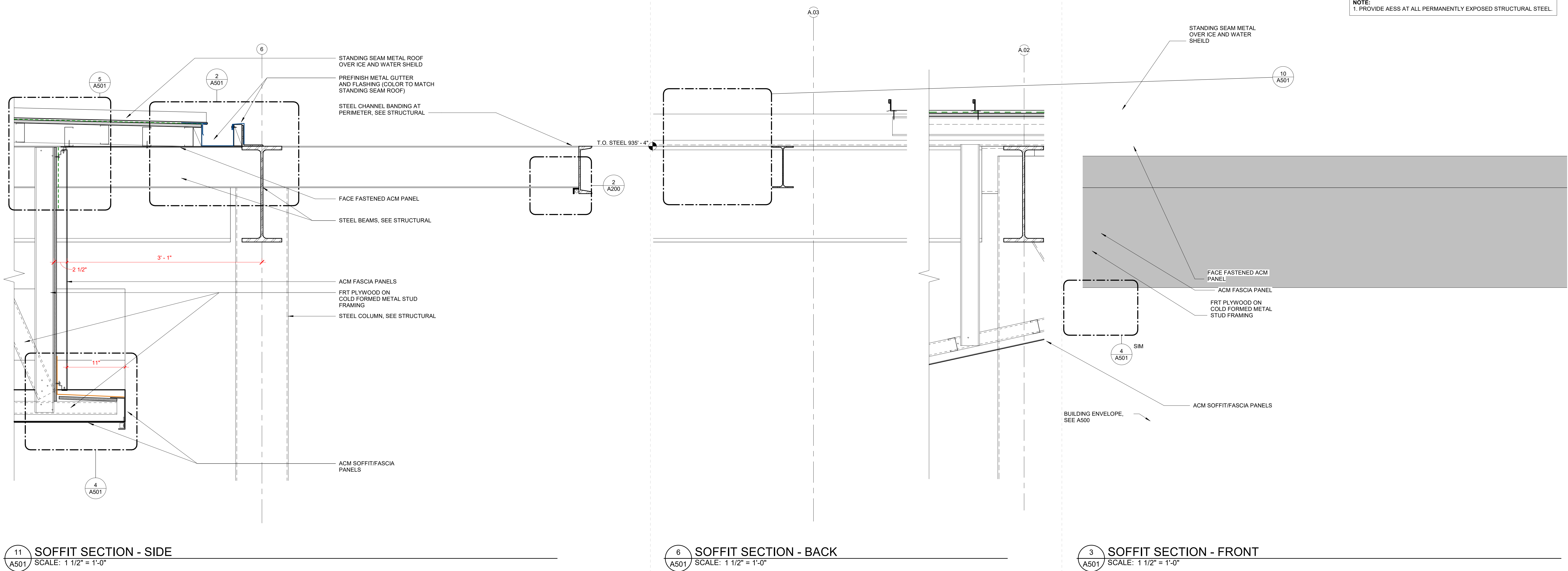


**2 PARAPET SECTION AT STOREFRONT**  
SCALE: 1 1/2" = 1'-0"



**1 PARAPET SECTION AT STUCCO**  
SCALE: 1 1/2" = 1'-0"





11 SOFFIT SECTION - SIDE  
A501 SCALE: 1 1/2" = 1'-0"

6 SOFFIT SECTION - BACK  
A501 SCALE: 1 1/2" = 1'-0"

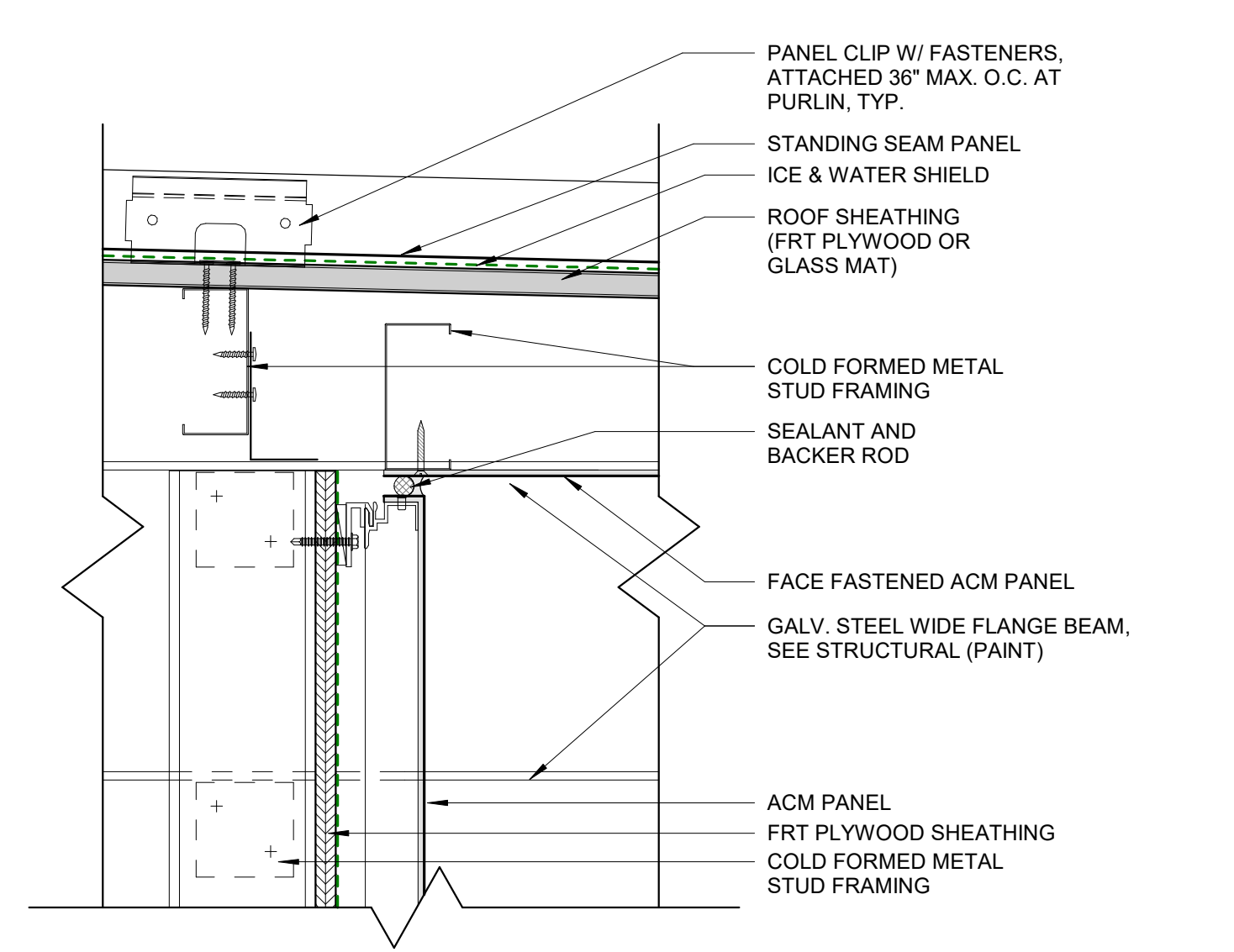
3 SOFFIT SECTION - FRONT  
A501 SCALE: 1 1/2" = 1'-0"



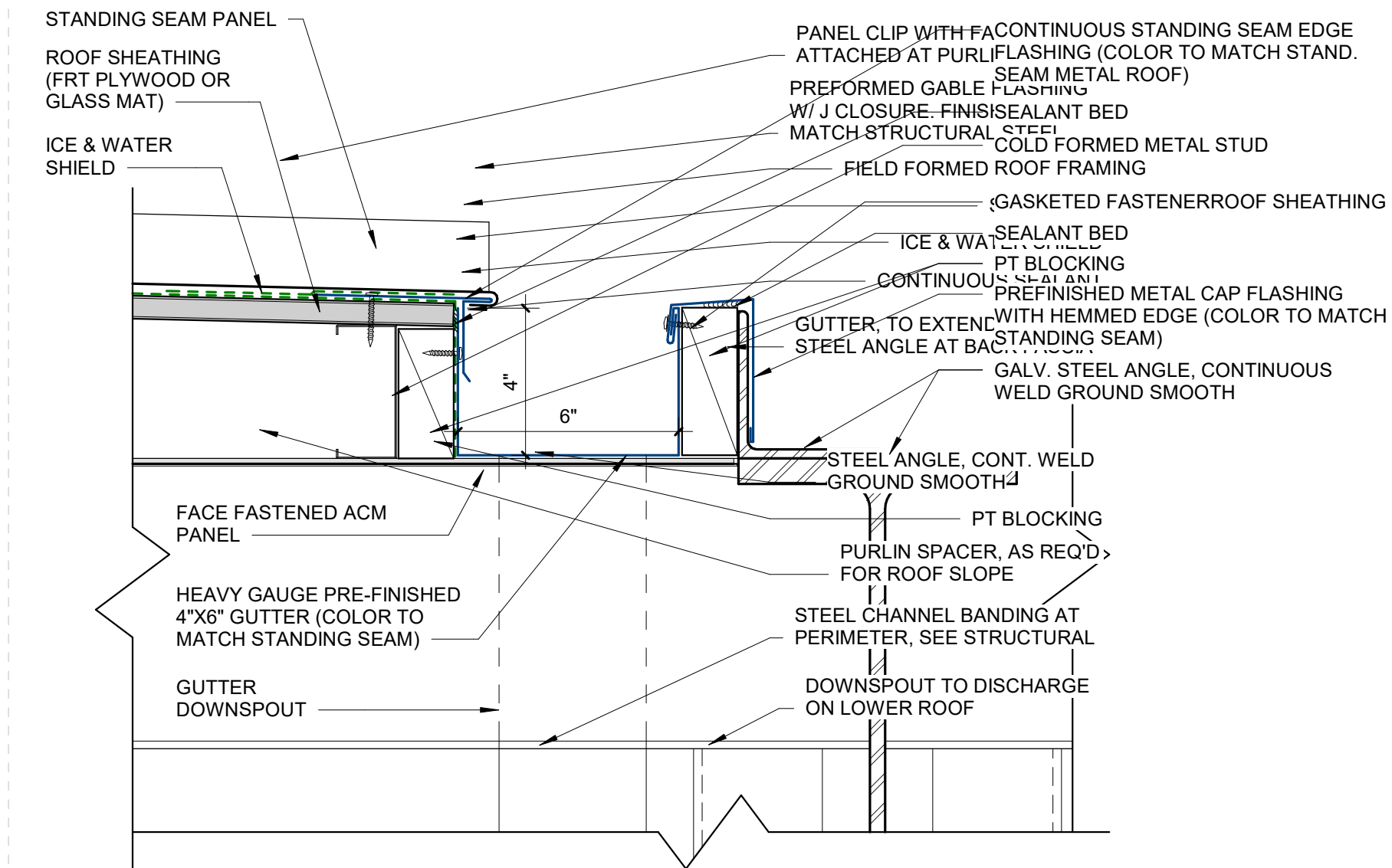
10 ROOF FASCIA DETAIL - BACK  
A501 SCALE: 3" = 1'-0"



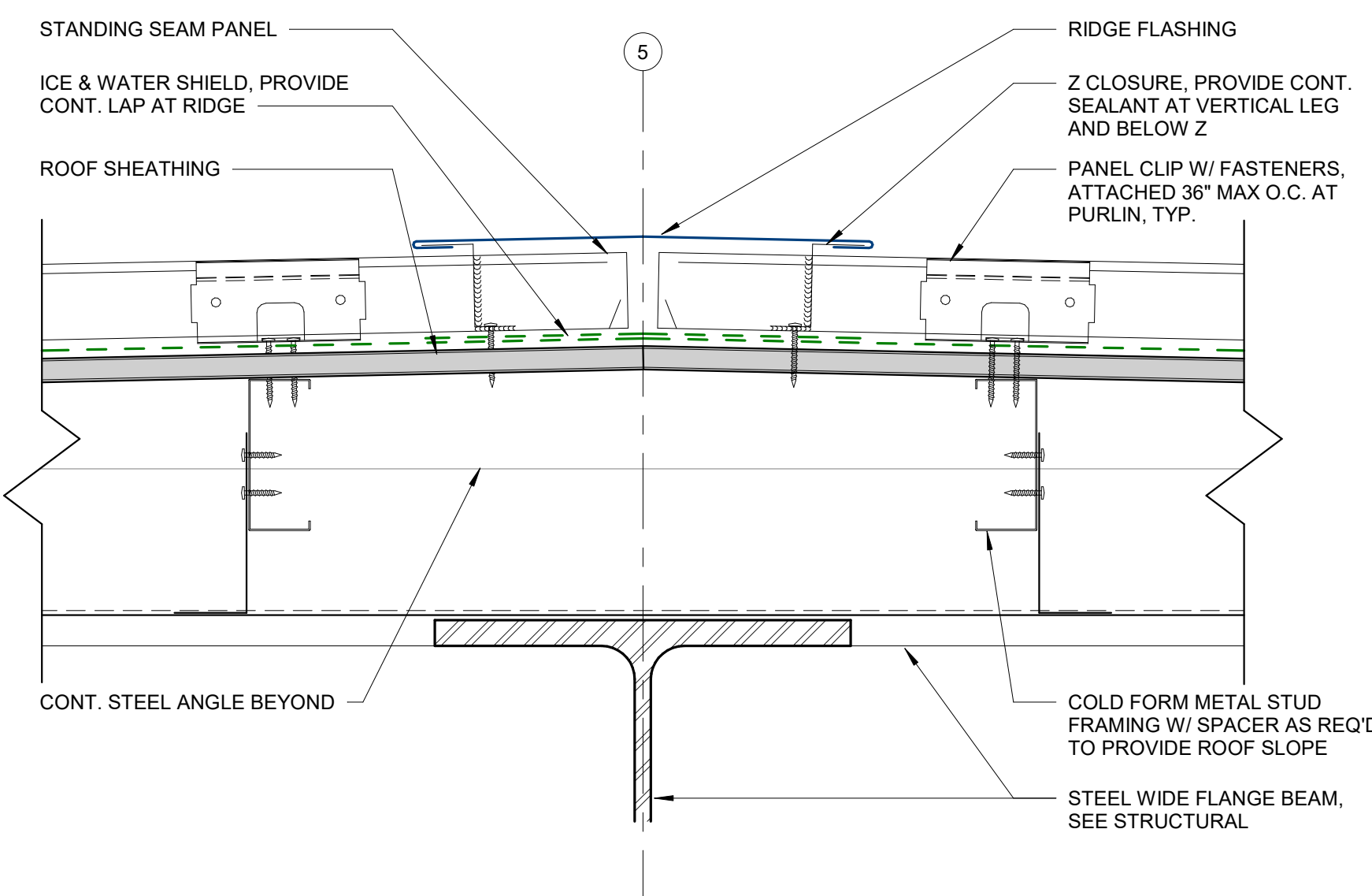
8 ROOF FASCIA DETAIL - FRONT  
A501 SCALE: 3" = 1'-0"



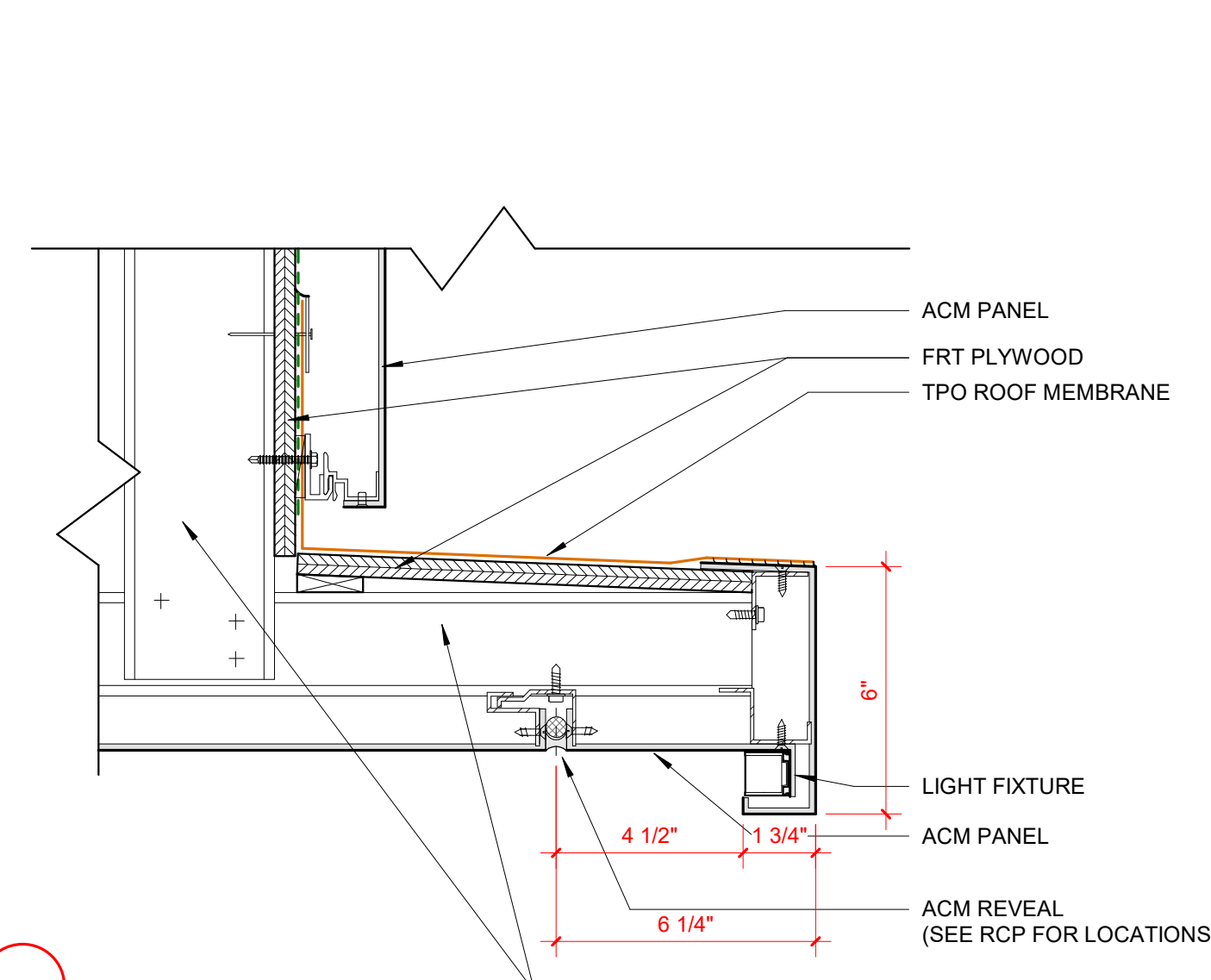
5 SOFFIT FACE PANEL DETAIL  
A501 SCALE: 3" = 1'-0"



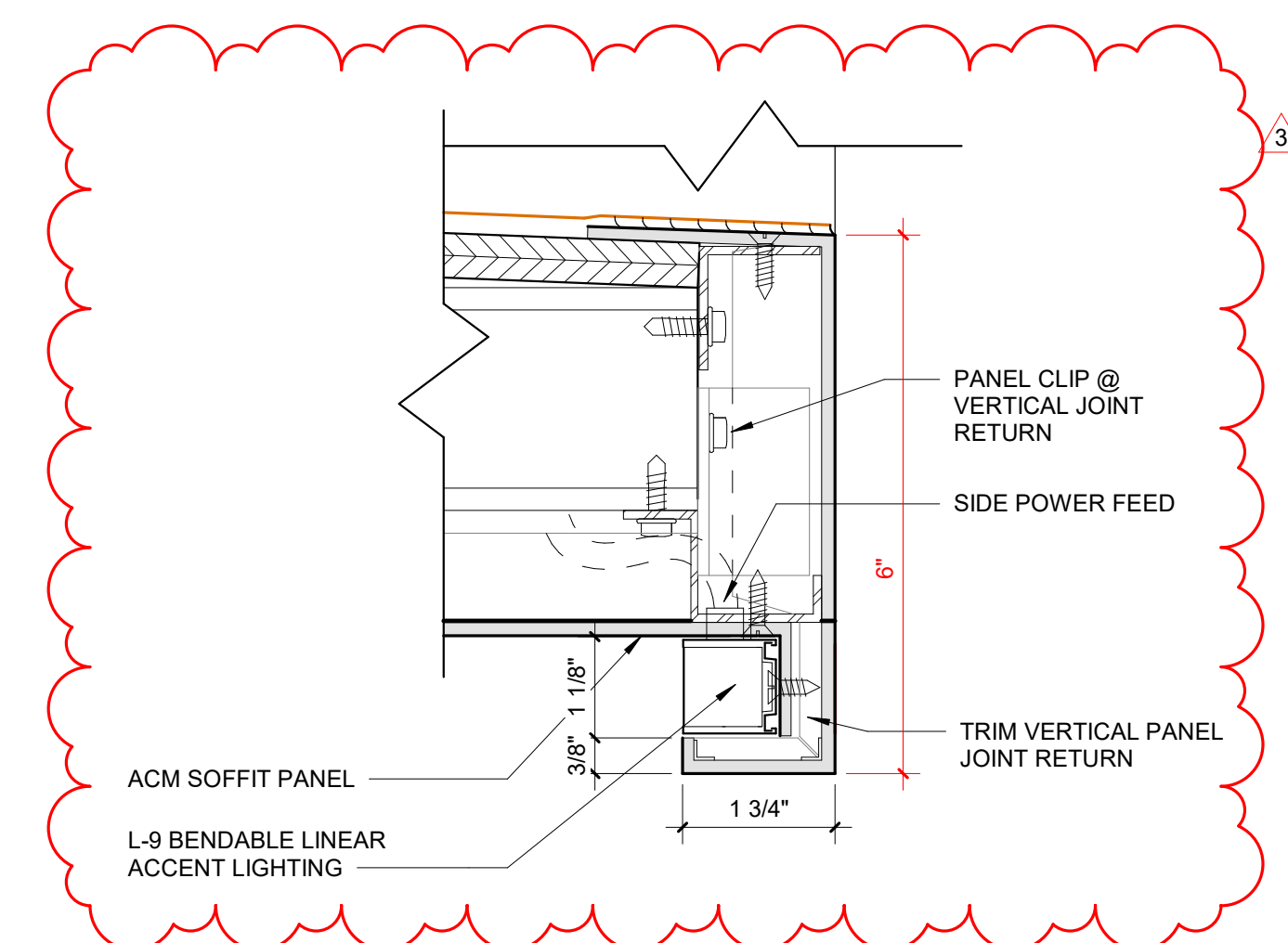
2 ROOF GUTTER DETAIL  
A501 SCALE: 3" = 1'-0"



7 ROOF PEAK DETAIL  
A501 SCALE: 3" = 1'-0"

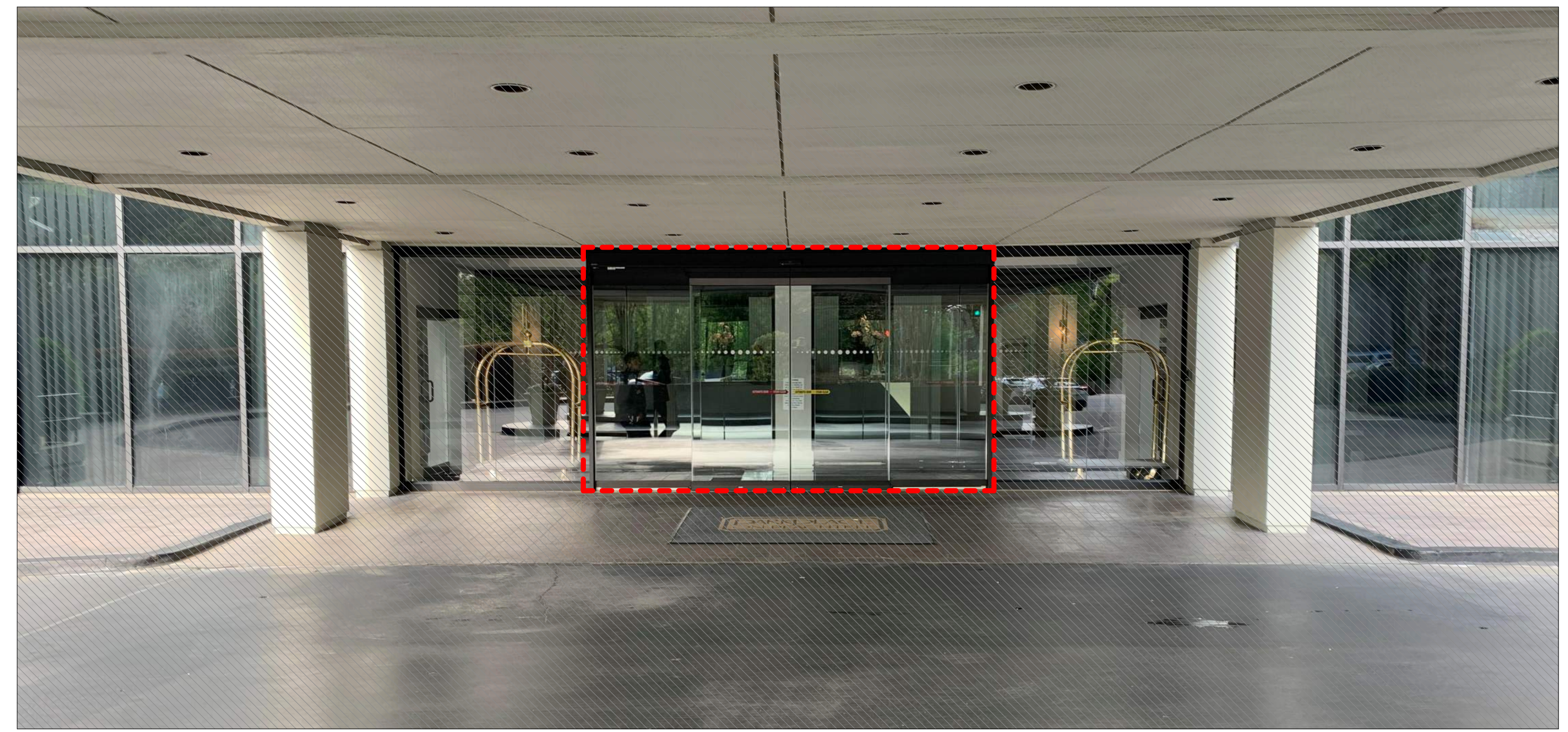


4 SOFFIT EDGE DETAIL  
A501 SCALE: 3" = 1'-0"



3 SOFFIT EDGE LIGHT DETAIL  
A200 SCALE: 6" = 1'-0"





### EXISTING STOREFRONT

## GENERAL NOTES

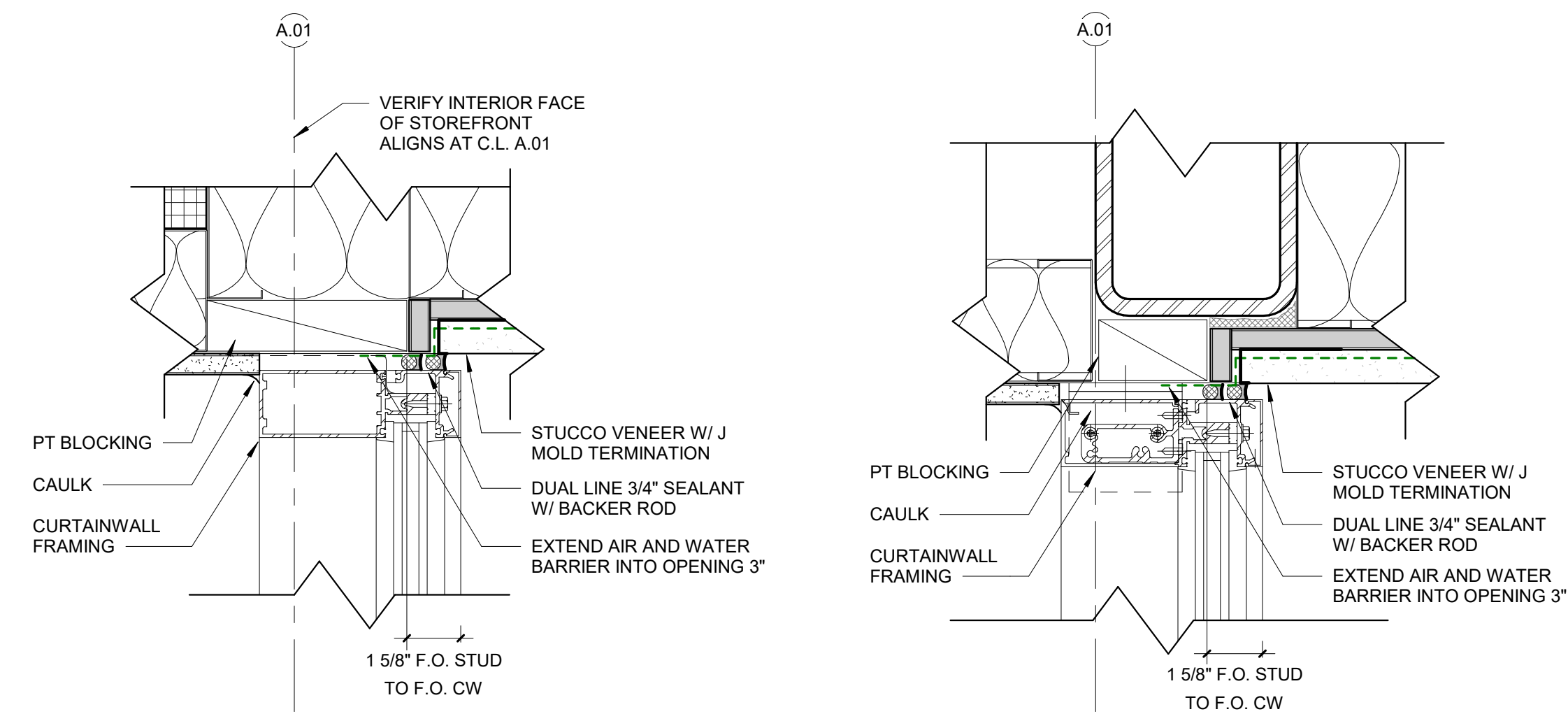
1. GC TO CONFIRM ALL ROUGH OPENING  
DIMENSIONS REQUIRED FOR CURTAINWALL INFILL

EXISTING DOOR SPECIFICATION:

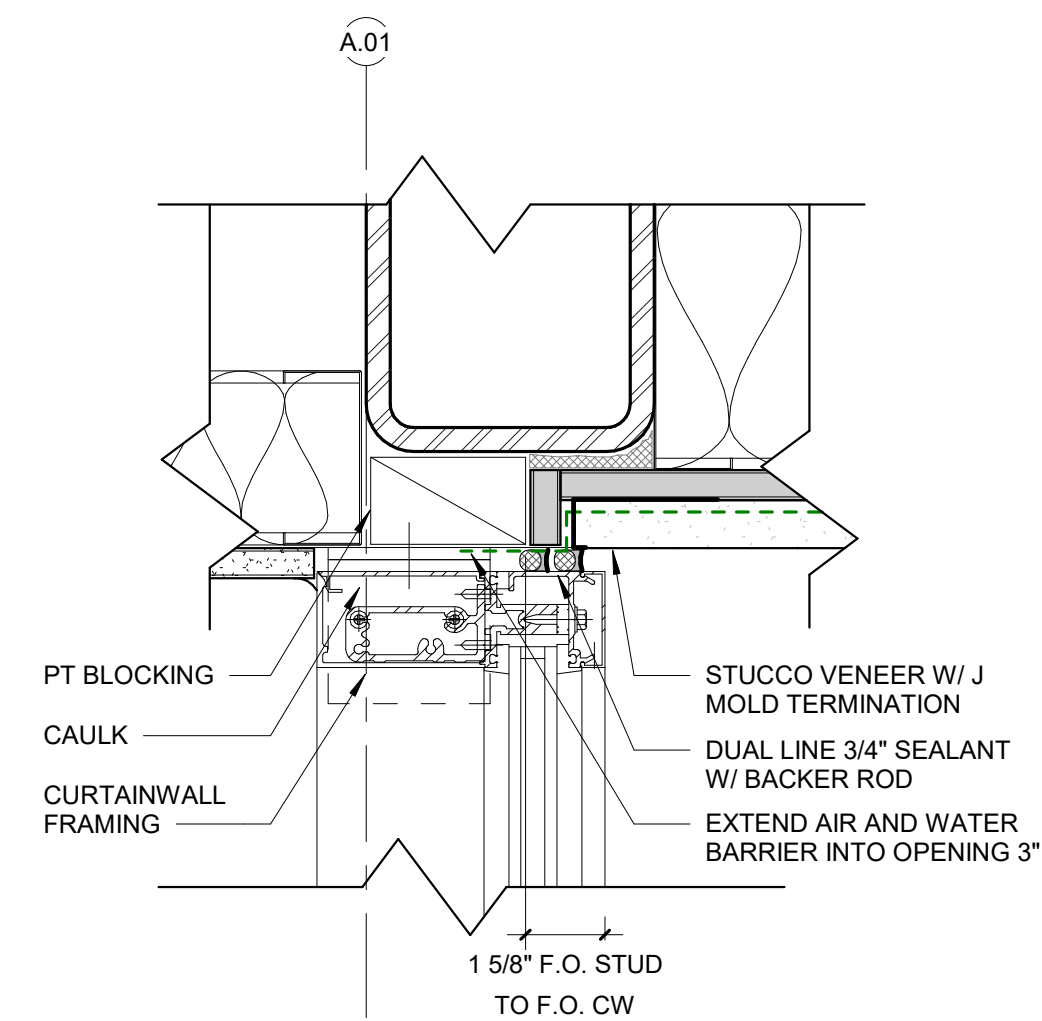
- ASSA ABLOY SL500 CGL COMMERCIAL ALL GLASS ENTRY SYSTEM
- DARK BRONZE: ANO 303 AE

EXISTING STOREFRONT TO BE  
SALVAGED AND REINSTALLED

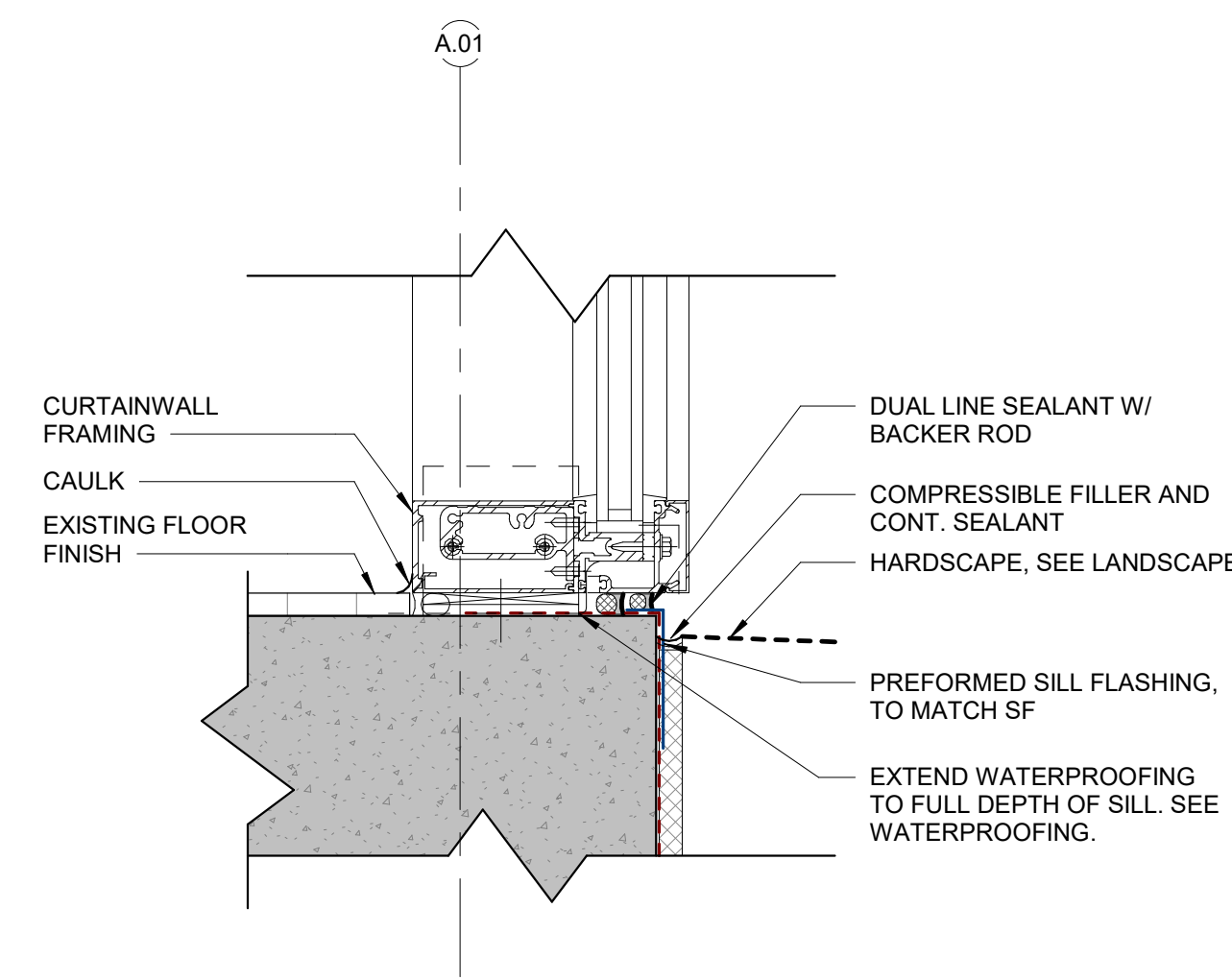
**T**    **TEMPERED GLASS**



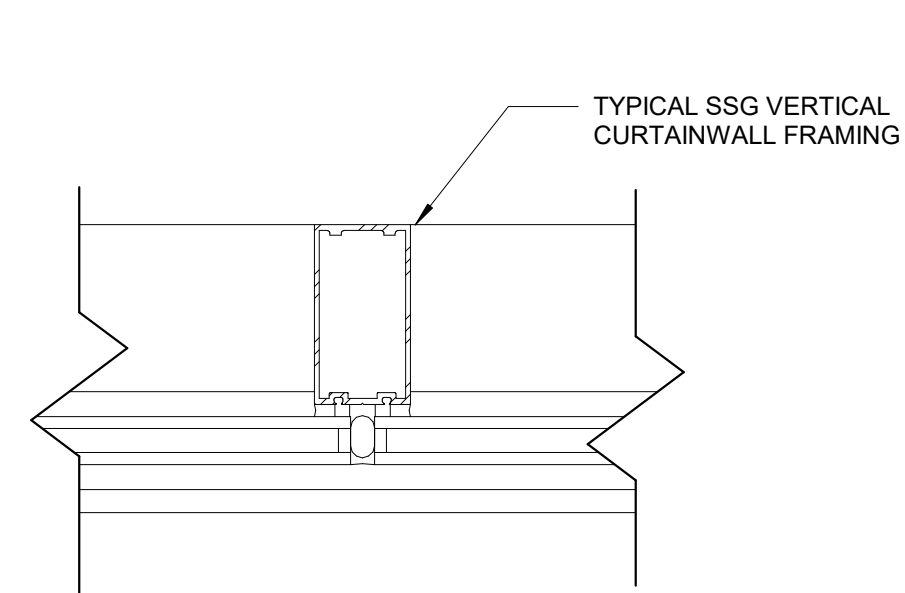
9 CURTAINWALL JAMB DETAIL  
A502 SCALE: 3" = 1'-0"



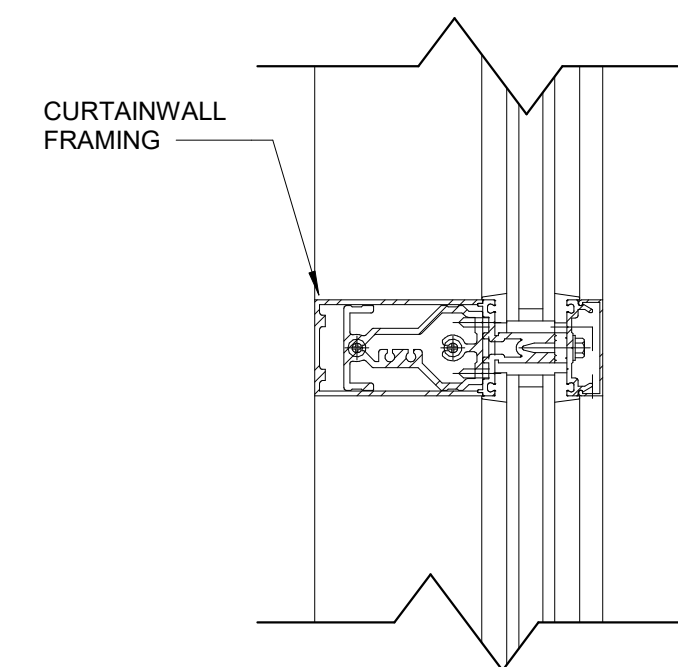
8 CURTAINWALL HEAD DETAIL  
A502 SCALE: 3" = 1'-0"



7 CURTAINWALL SILL DETAIL  
A502 SCALE: 3" = 1'-0"

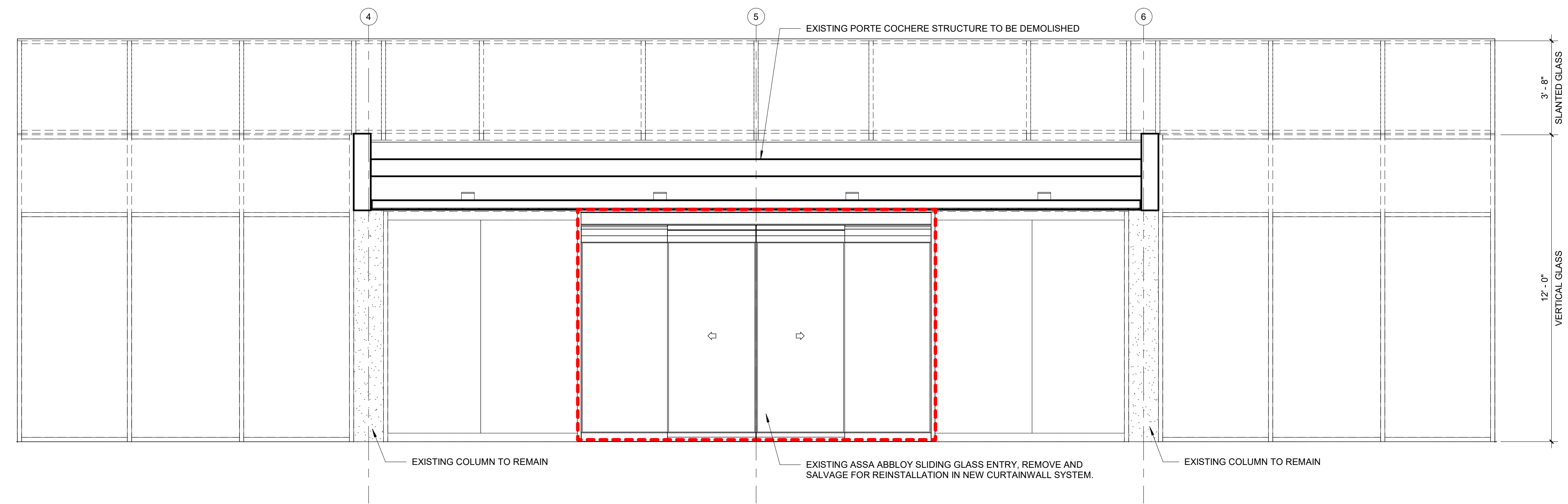


6 TYP. VERTICAL DETAIL  
A502 SCALE: 3" = 1'-0"

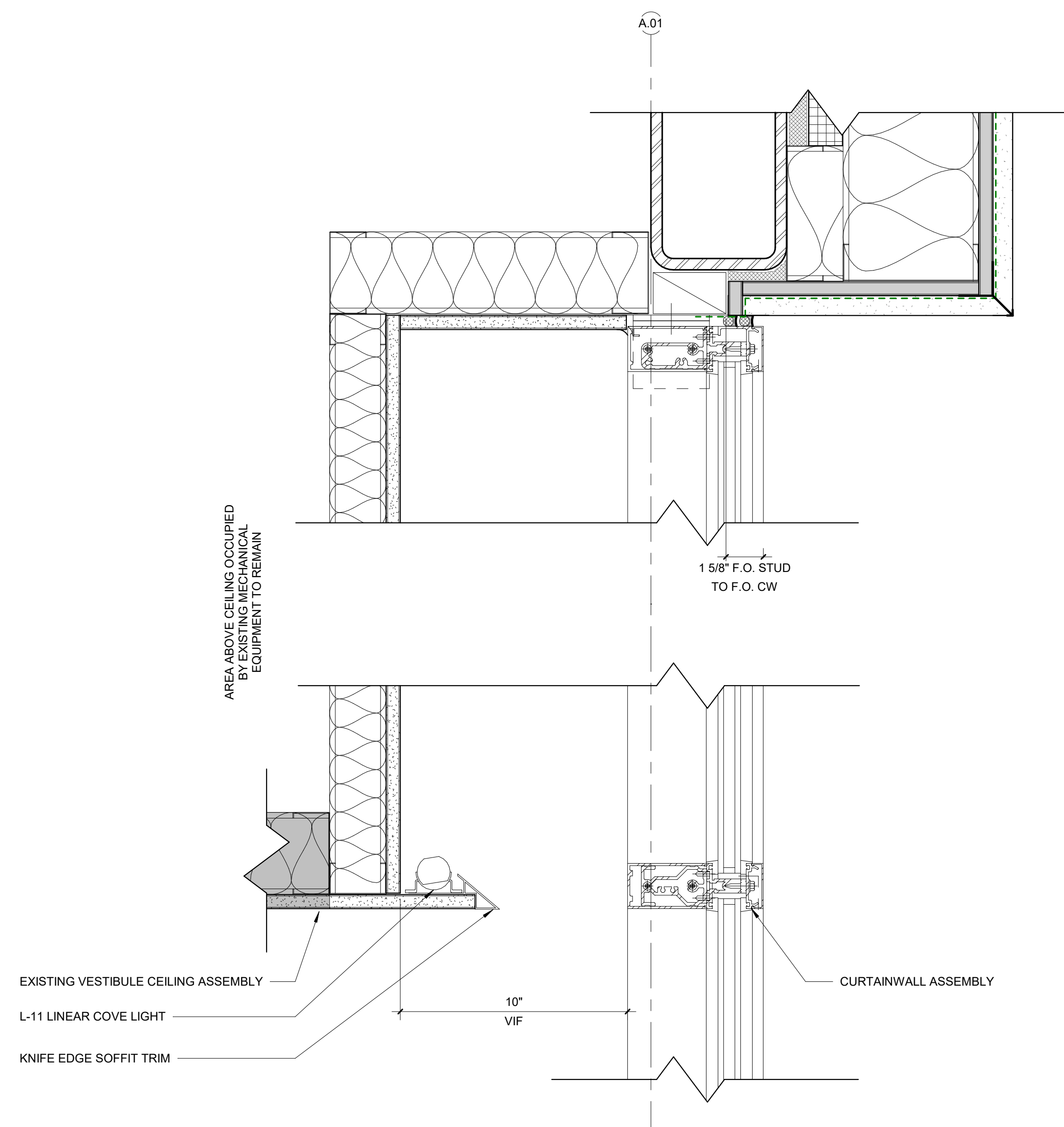


5  
A502

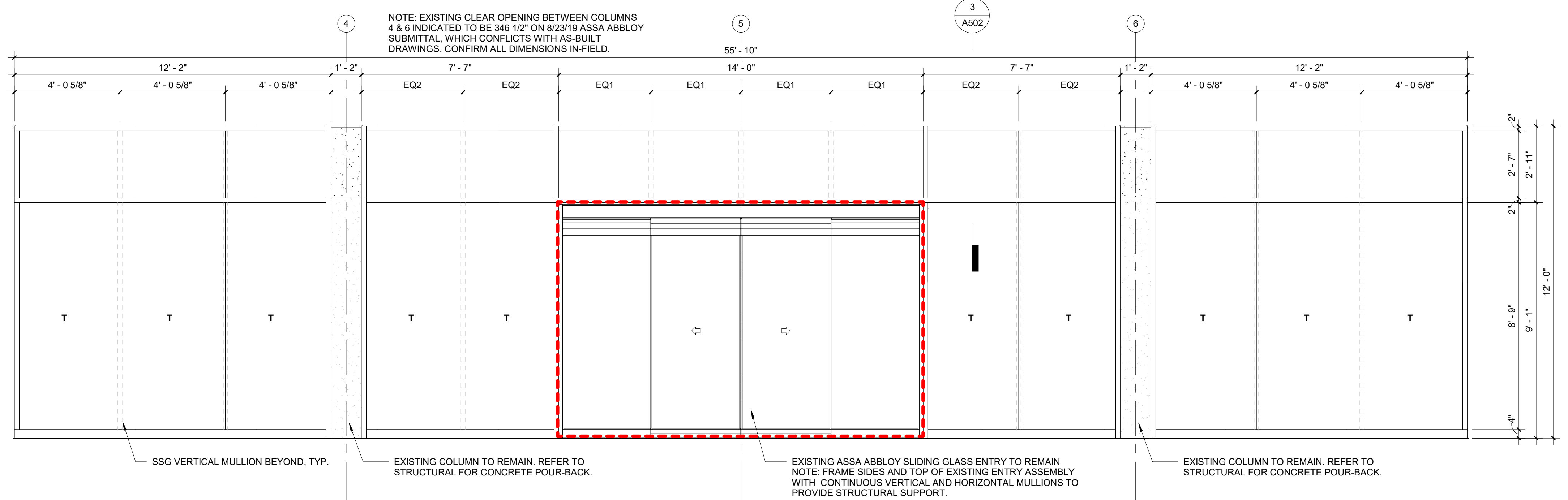
TYP. HORIZONTAL DETAIL  
SCALE: 3" = 1'-0"



2 STOREFRONT ELEVATION - DEMO  
A502 SCALE: 3/8" = 1'-0"



3 SHADOW BOX DETAIL  
A502 SCALE: 3" = 1'-0"



1 CURTAINWALL ELEVATION  
A502 SCALE: 3/8" = 1'-0"

PROJECT NO:  
22020  
Park Place

PROJECT TITLE:

PORTE COCHERE  
 PARK PLACE ON PEACHTREE  
 2660 Peachtree Road NW, Atlanta, GA 30305

2/19/2023 10:59:42 AM

ISSUE AND DATE:

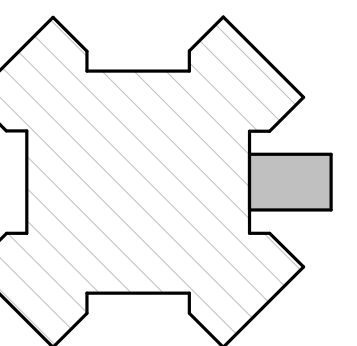
ISSUE AND DATE:  
Construction Documents

OCTOBER 31, 2023

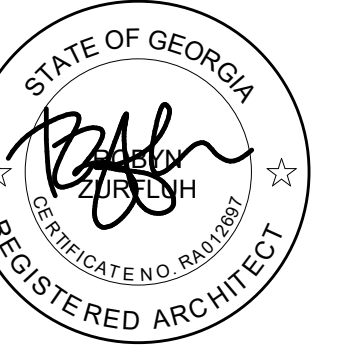
12/15/23, ADDENDUM 1

THE FUTURE OF THE FUTURE

PLAN:

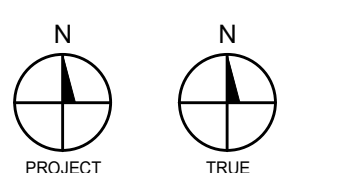


REAL:



SHEET TITLE:

## GLAZING DETAILS



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SHEET NO.:

A502